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Callan

1.0 Introduction

Function and Aims

The Plan has two main functions:

1. To provide the strategic guidance for the physical development of Callan and
1. To provide the basis for assessing the detailed planning applications submitted to the Council.

The aim of the Callan Development Plan, as part of the County Kilkenny Development Plan is to ensure the proper planning and sustainable development of the Town. It will therefore facilitate the co-ordinated social, economic and environmental development of Callan and the conservation and enhancement of its natural and built environment.

The Local Authority has an obligation to promote principles of sustainable development as outlined in “Sustainable Development - A Strategy for Ireland” 1997, as adopted by the Government. It is therefore the duty of the Local Authority to ensure a sustainable balance between socio-economic growth, cultural growth and the environment.

2.0 Locational Context

Callan Town is located 10 miles south-west of Kilkenny City, 15 miles from Carrick on Suir, 17 miles from Clonmel and 35 miles from Waterford City. It is situated on the main Kilkenny /Clonmel road and in recent years was subject to severe traffic congestion due to the volume of heavy traffic passing through its narrow and historic streets. The recently opened by pass has improved this problem significantly and has created an opportunity for Callan to evolve and develop in a more environmentally acceptable manner.

As the third largest town in the county with a population of 1,224 (Census of population 1996, Central Statistics Office), Callan is primarily a market and service centre for a rich agricultural hinterland. The Kings River flows west to east through the town.

3.0 Historical Development

Callan was originally granted its charter in 1217 by William Marshall, Earl of Pembroke. Part of the original medieval town layout is still evident, for example, the crossroads on the southern side of the Kings river, upon which the market cross stood, as well as the unpaved narrow street to the rear of Bridge Street Upper which linked the crossroads to one of the two fording points on the Kings river. The town was protected by a defensive wall/circuit, which covered circa 8-12 hectares to the south of the Kings river and is reflected today in the alignment of Chapel Lane/Fair Green Lane to the south.

4.0 Urban Structure

The town's earliest surviving developments, an anglo-norman motte and the Augustine Abbey, are located to the north of the King's River. The principal street, Bridge Street/Green Street, runs north to south with West Street/Mill Street as a secondary axis, with the two streets intersecting at a cross roads to the south of the bridge.

Bridge Street was very densely developed with residential shops, with Green Street laid out as a market square, forming a very fine broad formal street with a concentration of public buildings. Callan's buildings are predominantly 18th Century, with good proportions and elegant detail.

Within the core of the town there are a number of derelict sites which seriously detract from the character of the streetscape and allow visual leakage from otherwise enclosed streets.

Considerable areas of agricultural and undeveloped land remain within the town boundary, for which planned servicing and development will take place on a phased basis. Linear development on remaining road frontage within the development boundary will not in general be permitted in order to safeguard the development value of 'backlands'.

Industrial development has mainly taken place at the periphery of the town. The majority of these are poorly integrated into the townscape and surrounding rural areas. Improved landscaping, building and site maintenance would make a considerable improvement in the town's image and appearance.

There have been many improvements to the townscape in the previous plan period and many of the objectives put forward have been realised. These include the restoration of Workhouse Complex, improvements to wirescape, paving and road surfaces, street lighting and preservation of protected structures. A feasibility study for the erection of a footbridge linking Clothiers Lane to the Augustinian Friary car park has also been carried out.

4.1 Urban Structure Objectives

1. To preserve and enhance the street pattern and distinctive architectural character of Callan's historic core. Where new development is proposed within the town these should relate to the context provided by other buildings, street and plot patterns, building frontages, established public views, landmark buildings and other townscape elements.
2. To encourage the planned development of serviced lands within the town and to discourage road frontage development in areas zoned for development and on the approach roads to the town.

3. To encourage and assist a co-ordinated programme of restoration and refurbishment of the buildings throughout the town in conjunction with designations put forward in the Town Renewal Plan for Callan.
4. To have a good social mix in new residential developments providing a range of unit types/sizes.
5. To investigate the provision of pedestrian/cycle paths linking parts of the town otherwise poorly connected.
6. That new developments should address the public realm in a manner appropriate to their use and location.
7. To seek the preservation of those items of archaeological, architectural and historic interest listed as Protected Structures in the County Development Plan including items of industrial archaeology.
8. To ensure the town centre business function develops an enhanced role as the commercial, cultural and social centre of the town and hinterland.
9. To seek to preserve and enhance the unique natural setting of the town and retain a clear division between the town and the surrounding countryside.
10. To ensure a high quality of building design and open space in all proposed housing, industrial, commercial and other developments and to preserve where possible existing hedgerows, trees and habitats.
11. To continue to implement a phased plan for the restoration and development of the Workhouse Complex.
12. To encourage the establishment of new uses for redundant buildings and to implement the Derelict Sites Act 1990 in order to ensure the removal of dereliction within the Plan period.
13. That all developments within the town are of a high quality and use ecologically sustainable materials and construction details.
14. To encourage mixed use developments such as upper floor residential over ground floor retail; upper floor community/cultural facilities over ground floor retail/office and where appropriate, retail/community/cultural facilities incorporated into housing schemes.
15. That all developments in the expression of form should relate to its context and scale.
16. That all development should integrate with the town structure maximising potential for developing new or existing connections with adjacent areas of the town.

17. That all new public buildings should be fully accessible. (This may not always be possible in existing buildings, particularly where the necessary interventions would mean the loss of important historic fabric or features. Where this happens partial access will be encouraged.)
18. To provide for a clear hierarchy of public spaces.
19. To encourage and facilitate street planting and seating in appropriate locations. Orientation of seating, shelter, shading by planting, nearness to traffic, sun trap potential, etc are all issues to be considered in assessing the location of such features.
20. To have a high quality of public lighting in all developments appropriate to the area.
21. To ensure that new-cabled services in the town are located underground and to seek to have all existing overhead cables undergrounded on a phased basis.

5.0 Population

The population of Callan has declined from its 1946 level, with only the 1971-1979 period showing an increase (14%) since that date. The more recent figures of the 1996 Census shows a decline of 22 persons within the town over the previous census figures. The trends in population of the intercensal periods 1966 to 1996 is shown in the table below.

Year	Town	County	Town Pop as a % of the County
1966	1263	60,463	2.08
1971	1283	61,473	2.08
No census in 1976			
1981	1431	70,806	2.02
1986	1266	73,186	1.73
1991	1246	73,635	1.69
1996	1224	75,336	1.62

As can be seen from the table above Callan has not sustained its population share of the County over the years.

However within the previous plan period, permission has been granted for a substantial number of new houses within the town. If these planning permissions are implemented it is anticipated that the population of the town will increase significantly within the next plan period.

5.1 Population Objective

To assist in the provision of conditions within Callan which allow the town to sustain and strengthen its role as a sustainable population centre within County Kilkenny.

A new census of population has been undertaken in the year 2002. It is an objective of the Council to monitor and analyse the results from the new census as they become available during the period of the new plan in order to identify problems and opportunities which might arise as a result of changes in the towns population.

6.0 Labourforce/Employment

Callan has a proven skilled manufacturing workforce and there are a number of manufacturing firms operating in or near the town. The main area for the location of industry is at Westcourt which is at the north-western end of the town and separated from it by the new bypass. The location of the lands provide easy access to the National road network without generating traffic flows through the town centre.

Lands at Westcourt are almost fully developed and there is a need for additional industrial lands within the town in order to facilitate expansion of existing industries and new inward investment.

Unemployment has shown a decline in Callan over recent years in line with the improved economic performance of the country generally. Unemployment registered in the Callan exchange has decreased from an average of 684 in 1993 to 373 in June 2000.

Potential for future new employment opportunities in Callan exist in manufacturing, education, food processing, craft production and in services, particularly those serving both local needs and tourism.

6.1 Labourforce/Employment Objectives

Policy Objectives

It will be the policy of the Council to

- a) Ensure that adequate amounts of land are zoned for industrial development within the town.
- b) To improve the attractiveness of the built environment in Callan as a place in which to work and live and as a location for industry, services and tourism investment.
- c) To improve the quality of the built environment of Callan through the Village Renewal Programme.

- d) To liaise with the Industrial Development Authority and with local development organisations to encourage new firms to locate in industrial lands in Callan, and to facilitate the expansion of and access to existing firms through the provision of infrastructure and the identification and reservation of lands.
- e) To liaise with all relevant bodies in establishing premises for use by local start-up businesses.
- f) To take steps in association with local community bodies and business interests to improve the environment and appearance of Callan in the interests of attracting enterprises and tourist visitors to the town.
- g) To encourage and promote the strengthening of Callan as the local market centre for its rural catchment area.
- h) To require a high standard of design and landscaping in industrial development, in order to maintain the area's attractiveness to new enterprise.
- i) Encourage the location of industrial development in the town in order to promote the development and diversification of the local economy to provide additional employment opportunities.

7.0 Retailing

Callan provides the normal services of a market town, including banking, post office, and shopping. The Council commissioned a retail study for the entire County and as part of that study the retail hierarchy of the County was confirmed. Callan was placed in the sub county town category below Kilkenny City and on a par with Castlecomer, Graigueenamanagh and Thomastown.

The study confirmed that Callan performs an important function in its role as a market town for its hinterland. The location of retail development will be assessed through the sequential test. For details of the sequential test see sections 3.4.11 and 3.4.26 of Vol. 1.

For Callan it is recommended that significant proposals for retail development of 500m² (gross) or greater convenience and comparison would be assessed against a range of criteria. For details on this see sections 3.4.24 and 3.4.25 of Vol.1.

In general it will be the policy of the Council to maintain and enhance the role of Callan as a local market centre for its rural catchment area and as a centre to service its anticipated expansion during the period of the Plan.

8.0 Tourism

Callan has obvious tourist and cultural potential as evidenced by its historic qualities, fishing on the Kings river, its sporting facilities such as the Golf club GAA club and grounds.

Callan has the 'raw material' in its history and architectural and archaeological endowment to become a tourist centre within its own right. Conservation and restoration

of its buildings and streets, along with further development of visitor facilities and heritage attractions is essential if the town is to achieve its potential.

Attractions such as the Augustinian Abbey and its surroundings, Edmund Rice's birthplace and the town's association with Hoban, architect of the White House and the 19th century Gaelic diarist Humphrey O'Sullivan are features on which to develop the tourism sector. In addition initiatives based on the heritage of the Kings river such as its industrial archaeology and country pursuits such as fishing are worthy of development.

8.1 Tourism Policy

It will be the policy of the Council to

- a) Co operate in the development of a tourism development strategy for the town and its hinterland in association with Kilkenny City and County Tourism, SERTA, Bord Failte and local development and enterprise organisations.
- b) Encourage the development of outdoor recreational /leisure activities which are based on the natural amenities and resources of Callan.
- c) Consult with Bord Failte, SERTO, Kilkenny Tourism and local tourism groups in order to improve the adequacy of directional sign posting for tourists within Callan
- d) Provide public rights of way to places of special beauty, amenity or recreational value or having views of outstanding quality. The Council shall also seek the preservation and maintenance and improvement of all existing rights of way to such areas.
- e) Provide a significant level of investment in the provision of roads and sanitary services infrastructure which will help to foster the development of Tourism within the County.

9.0 Community Facilities

9.1 Recreational Facilities

There is a wide range of sports clubs and their respective grounds in Callan. The area of the Fair Green is currently underutilised and is the site of the old playground.

An area with longer term potential for high quality amenity and tourism development is the area around the Motte between the Kings River and the Mill Race.

9.1.2 Policy

It is the policy of the Council

- to preserve, provide for and improve recreational facilities within the town
- to seek the preservation of mature trees in Callan Urban Area unless they have been shown to be unsafe.

9.2 Education Facilities

Callan is well catered for in primary and post-primary school facilities, as well as in pre-schools, Montessori schools, FAS training schemes and training schemes for the physically and mentally disadvantaged.

It is anticipated that over the period of the plan additional places at primary school level will be required in the town due to the expansion of the town under the grants of permission for housing development.

There is existing spare capacity within the primary schools of the town to cater for immediate expansion. However there may be a need for additional new facilities in the future as developments proceed.

9.2.1 Policy

It is the policy of the Council to:

- a) Facilitate the provision of adequate primary school facilities in appropriate locations in the town due to the anticipated residential expansion.
- a) Facilitate education in Callan in co-operation with the relevant educational and community bodies.
- a) Facilitate and encourage the promotion of all forms of continuing education and training in skills needed to develop the local economy.

9.3 Health Facilities

The existing health facilities include a health nurse, community welfare service, general practitioner and a psychiatric outpatients service. The South Eastern Health Board propose an extension to the existing Health Centre and providing additional services.

It will be the policy of the Council to

- provide for and encourage the development of health and other community facilities in the Town with the South Eastern Health Board and other statutory and voluntary agencies.

9.4 Library Facilities

This service is currently provided on a part-time basis in the town and it is hoped to lengthen the opening times in the future. The current premises is unable to provide a full range of modern services and the library is due to relocate during the plan period. It is the sixth most under-utilised library throughout the county.

It is the policy of the Council to continue to improve the existing library facilities in the town as the need arises subject to the availability of finances.

9.5 Community Facility Objectives

The following are the objectives of the Council:

1. 1 To facilitate the provision of additional high standard formal recreation and amenity open space and ensure these are convenient and accessible for all sections of society, particularly children, the elderly and those with physical/mental disadvantages.
1. To ensure the provision of adequate areas of open space required to serve new residential developments.
1. To facilitate appropriate and sustainable countryside recreation.
1. To ensure that environmental conservation and enhancement measures are incorporated as part of the design of sport and recreation facilities.
1. 5 To facilitate community and statutory bodies in the improvement of relevant services in the town.
1. 6 To make tree preservation orders where necessary, under Section 205 of the Planning and Development Act 2000, for trees within the town environs where the future of such trees is endangered. Where developments are proposed which would endanger an unprotected tree/trees within the town, the Local Authority will ensure the developer has due regard to preserving the tree/trees and the respective habitats.
1. 7 To identify a suitable location for re-housing of new Library facilities within the town.
1. 8 To initiate and improve the accessibility to library services and the use of Online Public Access Catalogues, Internet, E Mail and the British Library Automated Information Services.

10.0 Housing

10.1 Private Developments

Since the opening of the Callan bypass there has been an increase in the number of proposed and built multiple housing developments in the town. As the population figures have shown, there has been a decrease in the population of the urban area of Callan, however, from the numbers of permitted and proposed developments in the vicinity of the town, it would appear that an unprecedented number of dwelling units will be completed during the plan period and it will be the availability of dwellings which will be the determining factor in the towns future population growth, providing that the current economic climate continues.

10.2 Voluntary and Public Developments:

There have been 18 dwelling units completed over the previous plan period 1994-1999

by the Local Authority. Eighteen new units have recently been granted permission at Bolton and are to be developed by Saint Pancreas Housing Association.

10.3 Availability of Zoned Lands:

As of December 2000 there was a total of 394 dwelling units granted planning permission within or adjacent to the town. At an average occupancy of 3 persons per house this is equivalent to an additional 1,182 persons which if constructed and occupied will double the population of the town. This does not take into account lands zoned for agriculture in the 1994 Plan within the town boundary which have development potential. Further lands are proposed for residential use zoning within the town boundary in this Plan.

10.4 Housing objectives:

It is an objective of the Council:

- a) To ensure that an adequate amount of residentially zoned land is available to cater for the expansion of the town.
- a) To reserve land so as to offer opportunities for locational choice for housing development within the Development Boundary, and to seek to maintain a clear division between the town and the county.
- a) It is an objective of the Council to implement the housing strategy contained in Appendix A of the Development Plan.
- a) The Council will require that 18.7% of the land zoned for residential use or for a mixture of residential and other uses be made available for the provision of social and affordable housing.
- a) To encourage and assist a co-ordinated programme of restoration and refurbishment of the buildings throughout the town in conjunction with designations put forward in the Town Renewal Plan for Callan.
- a) To ensure the maintenance and preservation of housing within the town centre, and to encourage continued residential use of upper floors.
- a) To encourage the rebuilding of new residential and mixed use infill development where vacant plots exist.
- a) To encourage sensitive conversion and reuse of historic structures where an original use has become redundant.
- a) To utilise the powers under the Derelict Sites Act (1990) to require the maintenance of residential properties in non-derelict condition.
- a) To encourage planned housing development of serviced lands within the development boundary and to encourage a wide range and high standard of design within these

developments. The Planning Authority will require that serviced/serviceable lands will be developed in depth and at sustainable densities. The use of degraded or brown-field sites will be preferred and utilised where possible in order to improve the environmental character of the town.

- a) To provide serviced sites within the development boundary and to enter into joint venture to encourage housing development for the elderly
- a) That residential developments have a good social mix, providing a range of unit types/sizes.
- a) For residential units within the designated areas of the Town Renewal Plan residential units shall have the following minimum sizes -

Type	Unit Size
1 bed unit	500sqft
2 bed unit	700sq ft
3 bed unit	1000sq ft

- a) To provide for good quality pedestrian/cycle links with the town centre within new development
- a) To ensure a high quality of building design and open space in all proposed housing, and other developments and to preserve where possible existing hedgerows, trees and habitats.
- a) To encourage residential use on upper floors within the town over ground floor retail/office; or community/cultural facilities and where appropriate, retail/community/cultural facilities incorporated into housing schemes.

11.0 Sanitary Services

At present Callan is adequately serviced for water supply and foul sewerage treatment and there is sufficient spare capacity to cater for existing committed developments. Should there be further significant expansion of the town over and above existing commitments then additional improvements to the existing infrastructure will be required.

11.1 Policy:

It will be the policy of the Council to -

- a) Ensure that Callan is provided with an adequate water supply to meet the existing and projected needs of the town.
- a) To prepare a water audit and conservation plan for the town.
- b) Ensure that Callan is provided with an adequate foul drainage system which will comply with all relevant environmental standards.

11.2 Sanitary Services Objectives

The following are the objectives of the Council:

- a) To provide mains sewerage to existing developed areas and to extend sewerage for residential development within the development boundary.
- a) To seek to ensure the appropriate treatment of all effluent discharged into the King's River.
- b) To protect the sources of existing water supplies to Callan and to extend and augment water supplies to Callan as necessary to cater for the needs of industry and the residential population.
- c) To renew the pumping station to serve the Callan Water Supply Scheme.

12.0 Roads / Transport /Car Parking

During the last Plan period, Callan was by-passed, which has significantly reduced the level of through traffic in the Town. The construction of the by-pass provides an opportunity for the improvement of facilities within the town for local traffic pedestrian and cycle movements.

12.1 Roads/Transportation/ Car Parking Objectives

The following are the objectives of the Council:

- a) To prepare a traffic management plan for Callan.
- a) To extend footpaths and public lighting within the Development Boundary and on a phased basis.
- b) To repair and reinstate roads and paths in Bridge Street.
- c) To provide a road link between the R699 road and the R698 road as per the objectives map.

13.0 Conservation

By preserving characteristic features of the County, we seek to maintain and nurture our cultural heritage as part of our identity. The intrinsic value of the rural landscape, the areas of nature conservation and the sites, monuments, and structures of historic, architectural, artistic or technical interest is a major resource for the development of tourism and economic development while contributing to the quality of life. The sustainable management of this heritage is a key priority. The Council will seek a balance of accessibility and tourism development along with the conservation and preservation of the protected structures and heritage items generally and their settings.

Callan has a rich heritage and through its policies in Chapter 9 of Vol. 1 of the Development Plan the Council will seek to maintain and preserve that heritage.

It is the policy of the Council to use its powers and available resources to protect the architectural, archaeological, historic, artistic and natural heritage of Callan both for its cultural and tourism value in accordance with the policies set out in Chapter 9 of Vol. 1 of the County Development Plan.

13.1 Conservation Objectives

The following are the objectives of the Council:

1. To prepare an Architectural Conservation area Plan for the town with the period of the Plan.
1. To seek the preservation/conservation of the following structures which are contained on the Councils Record of Protected Structures. (Appendix C Vol. 1)

Item	Rating	Location
Catholic Church and its interior	I	Ignatius Rice Street (W)
The Old Charter	L	Green Street (E)
Bank of Ireland	R	Green Street (E)
Court House	R	Green Street (E)
CYMS Building	R	Green Street (E)
St Mary's Catholic Church	N	Green Street (E)
Adelphi House	L	Bridge Street Upper (W)
P Fennelly	L	Bridge Street Upper (W)
Power shopfront	R	Bridge Street Upper (E)
MJ Bradley shopfront	L	Bridge Street Upper (E)
J O'Mahoney	I	Bridge Street Upper (E)
Denis Carey	L	Bridge Street Upper(E)
Augustinian Church	R	Mill Street (N)
3 bay, three-storey house with pedimented fluted ionic door-case	L	Mill Street (S)
Bridge, 1818, limestone 3 arches	R	Bridge Street
Keoghs Model Bakery Shopfront	L	Lr. Bridge Street (E.)
Regans Shopfront	L	Lr. Bridge Street (E.)
Stone House	L	Kilkenny Road
Mill	L	Minnauns on King river
Birthplace of Ignatius Rice	I	Westcourt
Callan Workhouse	R	Green Street

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Castlecomer

1.0 Introduction

Function and Aims

The Plan has two main functions:

1. To provide the strategic guidance for the physical development of Castlecomer
1. To provide the basis for assessing the detailed planning applications submitted to the Council.

The aim of the Castlecomer Draft Development Plan, as part of the Draft County Kilkenny Development Plan is to ensure the proper planning and sustainable development of the town. It will therefore facilitate the co-ordinated social, economic and environmental development of Castlecomer and its environs and for the conservation and enhancement of its natural and built environment. The Local Authority also has an obligation to promote principles of sustainable development as outlined in “Sustainable Development - A Strategy for Ireland” 1997, as adopted by the Government. It is therefore the duty of the Local Authority to ensure a sustainable balance between socio-economic growth, cultural growth and the environment.

2.0 Locational Context

Castlecomer is situated 12 miles north of Kilkenny City in North-East County Kilkenny. The N78 National Secondary Route links the town with Kilkenny City, Athy and Dublin. The R694 route links Castlecomer with Ballyragget while the R426 route links it with Abbeyfeix.

As the second largest town in the county with a population of 1,380 (Census of population 1996, Central Statistics Office.), Castlecomer is primarily a market and service centre for a rich agricultural hinterland.

3.0 Historical Development

The earliest record of a settlement at Castlecomer dates from circa 1200 when William Marshall erected a motte and castle east of the existing bridge. The name ‘Castlecomer’ comes from the Irish ‘Caislean an Chumair’, which means ‘the Castle at the meeting of the Waters’. The ruins of an ancient Norman Castle exist close to where the Rivers Dinan, Brokagh and Cloghogue meet. The town was laid out in the 17th century by Sir Christopher Wandesford who also constructed Castlecomer Demesne. The town developed from wealth generated from the mining resources of the immediate area. The town acted as a principal market town for North Kilkenny and as an ‘estate village’ for the Castlecomer Demesne of the coal mine owners; the Wandesford family.

4.0 Urban Structure

The town is essentially a cross-roads development whose main feature is the magnificent broad and tree-lined High Street (also known as Market St., Bridge St., Main St. or the Square). The secondary public space of importance is Market Square where the Courthouse is located and where much dereliction exists. Development has been restricted to the east of the town by the Dinin River, the eastern bank of which is the location of Castlecomer Golf Club and Sawney's Woods which is subject to a Tree Preservation Order.

Other important woodlands include those in Castlecomer Demesne. Development of the town was formerly restricted to the west by the railway line. However, as it is now abandoned, it no longer serves as a constraint.

The town has a large number of very high quality buildings, some dating from the 1640s and others from the 18th and 19th Centuries. A number of buildings of high architectural quality are listed for preservation (see Volume Three of Development Plan). The conservation of these buildings, including particularly their details such as timber sash windows, slate roofs, railings, and shopfronts will be the basis of ensuring that the high amenity environment required to attract incoming firms and tourists is safeguarded and improved.

It will be an objective of the Council to designate a conservation area for the town in order to protect the town's historic core including its important amenity areas which are an intrinsic part of the town's setting. The Council's Policies for conservation and preservation set out in chapter 9 of Volumes One.

Future development in the Plan period will consist of infill within existing developed areas and in-depth development to the West of Kilkenny Street on rising ground. Because of the prominence of this area careful landscaping and building design will be required.

The vacant line of the former railway runs north/south through this area and links a number of open spaces. These lands provide the opportunity for the creation of an amenity wood with foot and cycle paths. Support of the Department of Agriculture Food and Forestry will be sought for a scheme of tree planting in this area which would raise the level of amenity to the west of Kilkenny Street and which would soften the impact of in-depth development of this area.

4.1 Urban Structures Objectives

During the period of the last plan many of the objectives set out were achieved such as the provision of public toilets and the refurbishment of the Court House on Kilkenny street.

The following are the objectives of the Council

- 1 To conserve and enhance the town's distinctive historic built environment by seeking to preserve those archaeological, architectural and industrial items, which are listed as protected structures in the County Development Plan.

- 1 To conserve and enhance the wooded surroundings of the town, including Sawney's Wood.
- 2 To encourage well-planned in-depth development and infill construction within the Development Boundary and to zone lands for this purpose.
- 3 To support and assist project development for the future tourism and amenity development of the Castlecomer Demesne in co-operation with local Community bodies, Coillte, the South East Region Tourism Organisation and Bord Failte.
- 4 To restrict linear development of the radial routes entering the town, and to encourage tree planting and use of local materials for boundary treatments where rural dwellings are permitted to meet established local needs.
- 5 To actively encourage the reinstatement of derelict housing and to incorporate such development into the County Council housing programme wherever feasible.
- 6 To encourage the establishment of new uses for redundant buildings and to implement the Derelict Sites Act 1990 in order to ensure the removal of dereliction within the Plan period.
- 7 To liaise with Coillte and the Department of Agriculture Food and Forestry to continue to protect and replace as necessary (as trees are shown to be in a dangerous condition) trees, which are of high amenity value to the town, including Sawney's Wood and urban trees such as the Lime Avenue on High St. To extend and improve the existing avenue at Kilkenny Street.
- 8 To have a good social mix in new residential developments providing a range of unit types/sizes.
- 9 To investigate the provision of pedestrian/cycle paths linking parts of the town otherwise poorly connected.
- 10 The new developments should address the public realm in a manner appropriate to their use and location.
- 11 To seek the preservation of those items of archaeological, architectural and historic interest listed as Protected Structures in the County Development Plan including items of industrial archaeology.
- 12 That all developments within the town are of a high quality and use ecologically sustainable materials and construction details.
- 13 To encourage mixed use developments such as upper floor residential over ground floor retail; upper floor community/cultural facilities over ground floor retail/office and where appropriate, retail/community/cultural facilities incorporated into housing schemes.
- 14 That all developments in the expression of form should relate to its context and scale.
- 15 That all development should integrate with the town structure maximising potential for developing new or existing connections with adjacent areas of the town.
- 16 That all new public buildings should be fully accessible. This may not always be possible in existing buildings, particularly where the necessary interventions would mean the loss of important historic fabric or features. Where this happens partial access will be encouraged.
- 17 To provide a clear hierarchy of public spaces.
- 18 To encourage and facilitate street planting and seating in appropriate locations. Orientation of seating, shelter, shading by planting, nearness to traffic, sun-trap

potential, etc are all issues to be considered in assessing the location of such features.

- 19 To have a high quality of public lighting in all developments appropriate to the area.
- 20 To ensure that new cabled services in the town are located underground and to seek to have all existing overhead cables undergrounded on a phased basis.

5.0 Population

Castlecomer's population grew by approximately 80% between 1911 and 1981, with only the census of 1926 and 1956 showing a decrease. In addition, the most recent Population of Census figures illustrates a population of 1,380 for Castlecomer in 1996, as compared to a slightly higher population of 1,396 for the year 1991.

Year	Town	County	Pop as a % share of County
1966	1,141	60,463	1.8
1971	1,244	61,473	2.0
No census in 1976			
1981	1,548	70,806	2.1
1986	1,494	73,186	2.0
1991	1,396	73,635	1.9
1996	1,380	75,336	1.8

As can be seen from the table above Castlecomer has not sustained its population share of the County over the years. Since 1981 its percentage share of population has declined from 2.1% in 1981 to 1.8% in 1996.

5.1 Population Objective

To assist in the provision of conditions within Castlecomer which allow the town to sustain and strengthen as a sustainable population centre within County Kilkenny.

A new census of population has been undertaken in 2002. It is an objective of the Council to monitor and analyse the results from the new census as they become available during the period of the new plan in order to identify problems and opportunities which might arise as a result of changes in the towns population.

6.0 Labourforce/Employment Industry

Mineral resources include deposits of anthracite coal, shale and fireclay and have been exploited for several hundred years, the most significant of which (coalmining) having had a major impact on the development of the town. Currently strong employers in the town include the Ormonde Brick which employs approximately 90 people directly in addition to providing indirect employment through haulage and pallet supply and Comer International with approximately 180 employed.

Industrial lands are available on the N78 south of the Town where Steel Roofing Systems operate.

Adjacent to this there is additional land available for the location of industry.

6.1 Labourforce/Employment Objectives

It will be the policy of the Council to:

- Ensure adequate amounts of land are zoned for industrial development within the town
- Liaise with the Industrial Development Authority Enterprise Ireland the County Development Board, and with local development and enterprise organisations to encourage new firms to locate industrial lands in Castlecomer and to facilitate the expansion of and access to existing firms through the provision of infrastructure and the identification and reservation of lands.
- To improve the attractiveness of the built environment in Castlecomer as a place in which to work and live and as a location for industry, services and tourism investment.
- In the context of a County Tourism Plan, and in liaison with all relevant tourism and community bodies, to investigate the tourism potential of Castlecomer, and to assist in the town's tourism development.
- To support and assist project development for the future tourism and amenity development of the Castlecomer Demesne in co-operation with local Community bodies, including the Castlecomer Demesne Committee, Coillte, the South East Region Tourism Organisation and Bord Failte.
- To investigate opportunities for additional training in skills relevant to the labour market, in association with local bodies and the V.E.C.
- To liaise with Coillte and the Department of Energy regarding the beneficial development of the natural resources of Castlecomer and its hinterland.
- To facilitate as practicable the provision of the following services within existing or proposed buildings, for example, an Enterprise Centre, Library or Community Centre, Tourism Information, Job Information, Exhibition Centre, and Local History Museum.
- To improve the quality of the built environment of Castlecomer through the Village Renewal Programme.
- To liaise with all relevant development and enterprise agencies in establishing premises for use by local start-up businesses.
- To take steps in association with local community bodies and business interests to improve the environment and appearance of Castlecomer in the interests of attracting enterprises and tourist visitors to the town.
- To encourage and promote the strengthening of Castlecomer as the local market centre for its rural catchment area.
- To require a high standard of design and landscaping in industrial development, in order to maintain the areas attractiveness to new enterprise.

- Encourage the location of industrial development in the town in order to promote the development and diversification of the local economy to provide additional employment opportunities.

7.0 Retailing

Castlecomer provides the normal services of a market town, including banking, post office supermarket credit union professional services and smaller shops.

The Council commissioned a retail study for the entire County. As part of that study the retail hierarchy of the County was confirmed. Castlecomer was placed in the sub county town category below Kilkenny City and on a par with Callan, Graiguenamanagh and Thomastown.

The study confirmed that Castlecomer performs an important function in its role as a market town for its hinterland. The location of significant retail development will be assessed through the sequential test. For details of the sequential test see sections 3.4.11 and 3.4.26 of Vol. 1.

For Castlecomer it is recommended that significant proposals for retail development of 500m² (gross) or greater convenience and comparison would be assessed against a range of criteria. For details on this see sections 3.4.24 and 3.4.25 of Vol.1.

It is the policy of the Council:

- To maintain and enhance the role of Castlecomer as a local market centre for its rural catchment area and as a centre to service its anticipated expansion during the period of the Plan.

8.0 Tourism

Castlecomer's wooded setting and fine architecture are its principal attractions. In order to become a tourism destination these features would have to be enhanced and emphasised and in addition accommodation and activities for tourists would have to be increased. Castlecomer Demesne, an 18th Century landscape park currently in the ownership of Coillte has potential for such development. Formerly with extensive lakes, cave, summer-house and a boat house, the demesne could provide the basis for a development, with camping, hostel and self-catering accommodation. Development of a tourist attraction of sufficient scale and quality based on the area's mining heritage, would have the potential to bring day-visitors to the area and would be beneficial to the tourism development of the County as a whole.

It is recommended to build on the Tourism Resources currently available to the Town, namely the 18th century Demesne and associated woodlands, lakes and trails, Sawney's Woods, Castlecomer Golf Club and river, which are all accessible from the river end of High St., and to link these along a 'Tourism Axis' running east/west along High St. to a

proposed Heritage Centre of local industry with associated mixed-use craft/retail outlets based in the currently occupied Avonmore Co-op Buildings and property at the west end of High St.

8.1 Tourism Objectives

It is the policy of the Council to:

- a) Co operate in the development of a tourism development strategy for the town and its hinterland in association with Kilkenny City and County Tourism, SERTA, Bord Failte and local development and enterprise organisations.
- b) Consult with Bord Failte, SERTA, Kilkenny Tourism and local tourism groups in order to improve the adequacy of directional sign posting for tourists within Castlecomer.
- c) Encouraging the development of outdoor recreational/leisure activities, which are based on the natural amenities and resources of Castlecomer.
- d) Provide public rights of way to places of special beauty, amenity or recreational value or having views of outstanding quality. The council shall also seek the preservation and maintenance and improvement of all existing rights of way to such areas.
- e) Provide a significant level of investment in the provision of roads and sanitary services infrastructure, which will help to foster the development of Tourism within the Castlecomer.
- f) It is the policy of the Council to facilitate and maximise the tourism potential of the industrial heritage of Castlecomer and surrounding area in association with Colliery Heritage Association, Laois County Council, Carlow County Council and other local development groups and tourism interests.

9.0 Community Facilities

9.1 Recreation and Amenity

Additional recreational facilities are needed in Castlecomer. There is good provision for active recreation, with GAA, soccer pitches, Community Hall, and use of the Community School sport facilities.

9.2 Recreation and Amenity Objectives

- To provide a library in the former convent premises at Kilkenny Street.
- To continue to preserve Sawney's Wood as a site of scientific interest, for visual amenity and for walking and to improve public access.
- To liaise with Coillte regarding access to woodland walks.
- To liaise with the Department of Energy and local bodies regarding the creation of a linear amenity wood and walkway along the line of the former railway line west of Kilkenny Street.
- To investigate the need for playground facilities for pre-school children.

9.3 Education

Castlecomer is well catered for in primary and post-primary school facilities. There are four primary schools and one Community School within the town. There is ample capacity to accommodate a generous increase in pupil numbers in the Boys National

School. The Presentation Convent primary is a larger school and has no available space to extend the school premises.

It is the policy of the Council to:

- Facilitate the provision of adequate primary school facilities in appropriate locations in Castlecomer in co-operation with the relevant educational and community bodies.
- Facilitate the provision of adequate post primary school facilities in appropriate locations in Castlecomer in co-operation with the relevant educational and community bodies.
- Facilitate and encourage the promotion of all forms of continuing education and training in skills needed to develop the local economy.

9.4 Health Facilities

The existing health facilities include a health centre on Kilkenny Street and the District Hospital located at Donaguile.

It will be the policy of the Council to

- provide for and encourage the development of health and other community facilities in the Town with the South Eastern Health Board and other statutory and voluntary agencies.

9.5 Library Facilities

Castlecomer library was officially opened in March 1999. This represents the Council's commitment to expanding the library service in the North of the County.

The library has the second highest membership in the County and is actively used.

9.6 Community Facility Objectives

- a) To facilitate the provision of additional high standard formal recreation and amenity open space and ensure these are convenient and accessible for all sections of society, particularly children, the elderly and those with physical/mental disadvantages.
- b) To ensure the provision of adequate areas of open space required serving new residential developments.
- c) To ensure that environmental conservation and enhancement measures are incorporated as part of the design of sport and recreation facilities.
- d) To facilitate community and statutory bodies in the improvement of relevant services in the town.
- e) To make tree preservation orders where necessary, under Section 45 of the Local Government (Planning and Development) Act 1963, for trees within the town environs where the future of such trees is endangered. Where developments are proposed which would endanger an unprotected tree/trees within the town, the Local Authority will ensure the developer has due regard to preserving the tree/trees and the

respective habitats.

- f) To provide a new fire station for Castlecomer on the Kilkenny Road.

10.0 Housing

The improvement and extension of Love Lane and the replacement or repair of derelict houses in High Street will be a priority.

10.1 Housing Objectives

- a) To ensure that an adequate amount of residentially zoned land is available to cater for the expansion of the town.
- b) To reserve land so as to offer opportunities for locational choice for housing development within the Development Boundary, and to seek to maintain a clear division between the town and the county.
- c) It is an objective of the Council to implement the housing strategy contained in appendix A of the County Development Plan.
- d) The Council will require that 18.7% of the land zoned for residential use or for a mixture of residential and other uses be made available for the provision of social and affordable housing.
- e) To ensure the maintenance and preservation of housing within the town centre, and to encourage continued residential use of upper floors.
- f) To encourage the rebuilding of new residential and mixed use infill development where vacant plots exist.
- g) To encourage sensitive conversion and reuse of historic structures where an original use has become redundant.
- h) To utilise the powers under the Derelict Sites Act (1990) to require the maintenance of residential properties in non-derelict condition.
- i) To encourage planned housing development of serviced lands within the development boundary and to encourage a wide range and high standard of design within these developments. The Planning Authority will require that serviced/serviceable lands will be developed in depth and at sustainable densities. The use of degraded or brown-field sites will be preferred and utilised where possible in order to improve the environmental character of the town.
- j) To provide serviced sites within the development boundary and to enter into joint venture to encourage housing development for the elderly
- k) To encourage and assist a co-ordinated programme of restoration and refurbishment of the buildings throughout the town in conjunction with designations put forward in the Town Renewal Plan for Castlecomer.
- l) That residential developments have a good social mix, providing a range of unit types/sizes.
- m) To provide for good quality pedestrian/cycle links between new developments and the town centre.

- n) To have a good social mix in new residential developments providing a range of unit types/sizes.
- o) To ensure a high quality of building design and open space in all proposed housing, and other developments and to preserve where possible existing hedgerows, trees and habitats.
- p) To encourage residential use on upper floors within the town over ground floor retail/office; or community/cultural facilities and where appropriate, retail/community/cultural facilities incorporated into housing schemes.
- q) For residential units within the designated areas of the Town Renewal Plan residential units shall have the following minimum sizes:
 - 1 bed unit: 500sq. ft. or 46sq.m
 - 2 bed unit: 700sq. ft or 65sq.m
 - 3 bed unit: 1,000sq. ft or 93sq.m

11.0 Roads Transportation and Car Parking

Castlecomer has good transport connections to Kilkenny and Dublin. Car parking in the Town Centre is inadequate with arbitrary parking along High St. and along Chatsworth Row. Speeding traffic along High St. and Kilkenny St. is a problem and is of special concern due to the location of a Primary School along Kilkenny St.

11.1 Road Objectives

1. To provide traffic calming measures on High St. and Kilkenny St.
2. To provide short stay (shopping) parking perpendicular to the road and long stay parking (resident/business) between the avenue of trees and the building fronts.
3. To monitor the adequacy of Castlecomer Bridge to cater for prevailing levels of traffic.

12.0 Sanitary Services

Currently there is ample amount of land served by the Sewerage Network within the designated Development Boundary. A scheme for the augmentation of the water supply is planned and will be completed during the Plan period if government monies for such schemes are released. The supply scheme currently will not allow Castlecomer to develop or grow as it otherwise could if the water supply network was improved.

12.1 Sanitary Services Objectives

1. To investigate the adequacy of the town's sewage treatment facility, with a view to assessing future need for improvement.
2. To implement a scheme for water supply augmentation for Castlecomer Town.

13.0 Conservation

By preserving characteristic features of the County, we seek to maintain and nurture our cultural heritage as part of our identity. The intrinsic value of the Castlecomer townscape, the areas of nature conservation and the sites, monuments, and structures of historic, architectural, artistic or technical interest is a major resource for the development of tourism and economic development while contributing to the quality of life. The sustainable management of this heritage is a key priority. The Council will seek a balance of accessibility and tourism development along with the conservation and preservation of the protected structures and heritage items generally and their settings.

Castlecomer has a rich heritage and through the policies and objectives in Chapter 9 of Vol. 1 of the Development Plan the Council will seek to maintain and preserve that heritage.

It is the policy of the Council to use its powers and available resources to protect the architectural archaeological, historic and artistic heritage of Castlecomer both for its cultural and tourism value in accordance with the policies set out in Chapter 9 of Vol. 1 of the County Development Plan.

13.1 Conservation Objectives

The following are the objectives of the Council:

It is an objective of the Council to prepare an Architectural Conservation Area Plan for the town with the period of the Plan.

It is an objective of the Council to seek the preservation/conservation of the following structures.

Castlecomer		
Item	Rating	Location
Bank of Ireland	R	High St. (N.)
Five bay, two-storey house, rendered with a single round-headed doorcase and leaded fan light	R	High St. (N.)
Carriage-arch and a five bay, two-storey house with a simple doorcase	R	High St. (N.)
Another carriage arch and a three-bay, 2 storey house	L	High St. (N.)
Carriage arch and a pair of 3 bay, 3 storey houses one with a simple doorcase	R	High St. (N.)
5 Bay, two-storey house with dormer windows	L	High St. (N.)
5 Bay, three storey house rendered with raised quoins, parapet and raised end stacks. In front good railings and 2 sets of gate piers	N	High St. (E.)
House on corner and “ <i>Lyster</i> ” four bays, two storeys	L	High St. (S.)
Two public houses	L	High St. (S.)

Item	Rating	Location
"Coogan's" Pub is a three-bay 2 storey house	L	High St. (S.)
"Medical Hall" has an ionic shopfront on a 4 bay, two storey house	R	High St. (S.)
Large 4 bay, three storey house with round headed doorcase, leaded light and carriage arch	R	High St. (S)
Four two storey houses and "McKenna" with a simple shopfront and good lettering	L	High St. (S.)
Three bay, 2-storey rendered house with two dormers and end stacks	L	Swan Road
Two 3-bay, two storey houses	L	Swan Road
Church of Ireland, 1818	R	N. of town
Catholic Church	R	Kilkenny St. (E.)
Market House Main Block with pedimented wings. It is rendered with segmental-headed wyatt windows on the first floor	N	Kilkenny St. (E.)
"O' Braonain" shopfront	L	Kilkenny Street
"Commercial Establishment" frontage	L	Kilkenny Street
"Quinns" Shopfront	L	Kilkenny Street
Florence Terrace	L	Kilkenny Street
Entrance gate and lodge to Castlecomer House	R	Castlecomer-Athy Road
The Old Mill Race	L	Castlecomer-Athy Road
The Spa Well	L	

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Graiguenamanagh

1.0 Introduction

Function and Aims

The Plan has two main functions:

1. To provide the strategic guidance for the physical development of Graiguenamanagh.
2. To provide the basis for assessing the detailed planning applications submitted to the Council.

The aim of the Graiguenamanagh Draft Development Plan, as part of the Draft County Kilkenny Development Plan is to ensure the proper planning and sustainable development of the town. It will therefore facilitate the co-ordinated social, economic and environmental development of Graiguenamanagh and its environs and the conservation and enhancement of its natural and built environment.

The Local Authority also has an obligation to promote principles of sustainable development as outlined in “Sustainable Development - A Strategy for Ireland” 1997, as adopted by the Government. It is therefore the duty of the Local Authority to ensure a sustainable balance between socio-economic growth, cultural growth and the environment.

The 1997 Carlow Development Plan has been taken into consideration in preparing this Plan and close co-operation will be sought with Carlow County Council in order to implement co-ordinated measures for the town as a whole.

2.0 Locational Context

Graiguenamanagh is part of the town of Graiguenamanagh - Tinnahinch. Tinnahinch, which is on the east bank of the Barrow, is in County Carlow.

Graiguenamanagh is located 12 miles north of New Ross, 20 miles from Kilkenny and 21 miles from Enniscorthy. Graiguenamanagh is situated in the steep-sided Barrow Valley between Mount Brandon in County Kilkenny and Mount Leinster in County Carlow. The town is also located at a bridging point where a tributary river, the Duiske, enters the Barrow and where the Regional Road R705, (Carlow to New Ross) intersects with the R703 (Graiguenamanagh to Thomastown). On the opposite side of the river Barrow is the town of Tinnahinch, County Carlow.

3.0 Historical Development

Graiguenamanagh evolved around the extensive Duiske Abbey, an early 12th Century Cistercian foundation established by the Normans, in an area which has remains of settlements dating from thousands of years earlier. Graiguenamanagh's importance as a Market Town was later complemented by its position on the Barrow navigation,

agricultural produce being moved by water to Dublin or New Ross. The production of wool was historically important to the town's economy and sheep rearing remains a predominant agricultural activity in the hinterland.

4.0 Urban Structure

The form of the town has been dictated by the sharpness and variety of topography, and the bridging of the River Barrow. Graiguenamanagh is a town of antiquity which developed with its back to the Rivers Barrow and Duiske, whilst Tinnahinch has developed more recently on the left bank of the river Barrow.

The core of Graiguenamanagh is formed by Duiske Abbey and adjoining graveyard, which is the major landmark building in the town and commands a focal point at the centre of the town.

Graiguenamagh developed gradually around the Cistercian Abbey which was established in the 13th Century. The narrow winding streets of the town centre, their interconnection with the Abbey, and the relationship with the broad expanse of the River Barrow, gives Graiguenamanagh a unique and distinctive character.

Graiguenamanagh like other historic towns contains sites and properties which are underused, empty and potentially derelict. However despite these elements the town has retained its distinctive architectural and spatial character. Many of these buildings, and sites which have become underused and potentially derelict contribute to the character of the town and are worthy of reinstatement. These are concentrated on Main St., High St, and The Turf Market and along the Quays. Graiguenamanagh and Tinnahinch have been approved under the Town Renewal Scheme 2000, which will assist in tackling these identified areas

Most of the newer housing in Graiguenamanagh is located on the radial access roads and takes the form of single detached houses built directly onto the public road. Because of the steep slopes of these areas the houses are extremely prominent. Much of the attractiveness of Graiguenamanagh which gives it potential for tourism development stems from the contrast between the densely developed urban core and the dramatic natural surroundings outside the town boundary. High standards of design and use of local materials, particularly for boundary walls, will therefore be required where housing is permitted.

4.1 Urban Structure Objectives

It is the objective of the County Council:

1. To retain improve and enhance as necessary the street pattern and distinctive architectural and historic character of Graiguenamanagh.
2. To seek the early development of an inner relief road, which would remove heavy goods vehicles from the narrow historic streets which are at present causing considerable environmental degradation and affecting historic buildings such as Duiske Abbey.

3. To retain improve and enhance as necessary the medieval street pattern, with its winding streets and laneways.
4. To encourage the planned development of serviced lands within the town and to discourage road frontage development in areas zoned for development and on the approach roads to the town.
5. To encourage and assist a co-ordinated programme of restoration and refurbishment of the buildings throughout the town in conjunction with designations put forward in the Town Renewal Plan for Graiguenamanagh.
6. To seek to preserve and enhance the unique natural setting of the town and retain a clear division between the town and the surrounding countryside.
7. To seek the preservation of those buildings and other items listed in appendix one of this plan and in Volume Three of the County Development Plan.
8. To prepare an Architectural Conservation Area Plan for the Duiske Abbey complex and the wider central core of Graiguenamangh to guide its future conservation and as appropriate future development.
9. To ensure the town centre business function develops an enhanced role as the commercial, cultural and social centre of the town and hinterland.
10. To ensure that new-cabled services in the town are located underground and to seek to have all existing overhead cables undergrounded on a phased basis.
11. To encourage mixed-use developments such as upper floor residential over ground floor retail; upper floor community/cultural facilities over ground floor retail/office and where appropriate, retail/community/cultural facilities incorporated into housing schemes.
12. To plan and implement a phased programme of improvements to public areas in liaison with community bodies, including tree planting, the provision of well-designed street furniture, the improvement of road and footpath surfaces and removal of overhead cabling in association with the appropriate utility providers.
13. To require the retention within the central area of the town of characteristic architectural features such as natural slates, timber sash windows and original shop fronts.
14. To have a good social mix in new residential developments providing a range of unit types/sizes.
15. To investigate the provision of pedestrian/cycle paths linking parts of the town otherwise poorly connected
16. To encourage the establishment of new uses for redundant buildings and to implement the Derelict Sites Act 1990 in order to ensure the removal of dereliction within the Plan period.
17. That all developments within the town are of a high quality and use ecologically sustainable materials and construction details.
18. That all developments in the expression of form should relate to its context and scale.
19. That all development should integrate with the town structure maximising potential for developing new or existing connections with adjacent areas of the town.
20. That all new public buildings should be fully accessible. (This may not always be possible in existing buildings, particularly where the necessary interventions would mean the loss of important historic fabric or features. Where this happens partial access will be encouraged.)

21. To provide for a clear hierarchy of public spaces.
22. To have a high quality of public lighting in all developments appropriate to the area.
23. To encourage and facilitate street planting and seating in appropriate locations. Orientation of seating, shelter, shading by planting, nearness to traffic, suntrap potential, etc are all issues to be considered in assessing the location of such features.
24. To retain the traditional building form of 2/3 storey buildings directly facing the streets and which establish definite but varied building lines and heights.
25. To improve public access within the historic centre including footpaths, streets, riverside and as part of specific projects, the creation of new public spaces, where appropriate.
26. To improve the existing riverside character, including moorings and the old locks.
27. To retain and improve, where appropriate, Duiske River Mill race in the manner which it makes its way through the historic centre which is unique and of significant importance.
28. To develop sites/buildings which are currently derelict or potentially derelict and occupy important positions within the Town Renewal Scheme Area.
29. That all new public buildings should be fully accessible. (This may not always be possible in existing buildings, particularly where the necessary interventions would mean the loss of important historic fabric or features. Where this happens partial access will be encouraged.

5.0 Population

Graiguenamanagh-Tinnahinch is County Kilkenny's fourth largest town, with a population of 1,113 (Census of Population 1996, Central Statistics Office), which is almost identical to that of 1991 when a population of 1,112 was recorded. The trends in population of the intercensal periods 1966 to 1996 for Graiguenamanagh-Tinnahinch are shown in the table below.

Year	Town Pop.	County Pop.	Town Pop as a % of the County
1966	1,177	60,463	1.9
1971	1,077	61,473	1.7
No census in 1976			
1981	1,203	70,806	1.69
1986	1,203	73,186	1.64
1991	1,112	73,635	1.5
1996	1,113	75,336	1.47

As can be seen from the above, Graiguenamanagh has not sustained its population share of the County over the years. The town's percentage share of the County's population has shown a steady decline since 1961 reducing from 1.9% in 1961 to 1.47 % in 1996.

In order to reverse this trend and sustain and grow population levels within the town, Graiguenamagh needs to expand and develop its economic base. Increased employment opportunities along with the availability of housing and a good environment are the main factors which can achieve a reversal of the declining population.

5.1 Population Objective

It is an objective of the Council to assist in the provision of conditions within Graiguenamagh through its policies and objectives, which allow the town to sustain and strengthen as a sustainable population within County Kilkenny.

A new census of population has been undertaken in the year 2002. It is an objective of the Council to monitor and analyse the results from the new census as they become available during the period of the new plan in order to identify problems and opportunities which might arise as a result of changes in the towns population.

6.0 Labourforce/Employment

6.1 Employment

Graiguenamanagh's main potential for employment will be in the further development in the tourism sector and in small-scale crafts and specialist industries. The expansion of indigenous industry based on local skills and natural resources is also an area of potential employment opportunities.

Manufacturing in the town is carried out by Duiske Crystal and Cushendale Mills. Both produce a distinctive local product, which is readily identified with Graignamanagh. This type of craft-based production is also beneficial to tourism development.

6.2 Labourforce/Employment Objectives

1. To liaise with the IDA, Enterprise Ireland, County Enterprise Board, Town Development Association, and local development bodies regarding measures to generate jobs, including the conversion of a suitable building for start-up units for new businesses.
2. Ensure that adequate amounts of land are available for industrial development in Graiguenamanagh.
3. To improve the attractiveness of the built environment in Graiguenamanagh as a place in which to work and live and as a location for industry, services and tourism investment.
4. To strengthen Graiguenamanagh as a local market, tourist and employment centre functioning in the Kilkenny/Carlow sub region by additional employment in the small-scale crafts and specialist industries.
5. To facilitate and assist the establishment of specialised training and educational options within the town, tailored to equip young people to make a livelihood in the locality.

6. In the context of a County Tourism Plan, and in liaison with all relevant tourism and community bodies, to investigate the tourism potential of Graiguenamanagh, and to assist in the town's tourism development.
7. To facilitate and assist the establishment of opportunities for additional training and educational options in skills relevant to the labour market, in association with County Enterprise Board the V.E.C. and local development groups.
8. To facilitate and expand as far as practicable the provision of the following services within existing or proposed buildings, for example, an Enterprise Centre, Community Centre, Tourism Information Centre Job Information, Exhibition Centre, and Local History Museum.
9. To improve the attractiveness of the built environment in Graiguenamanagh as a place in which to work and live and as a location for industry, services and tourism investment.
10. To improve the quality of the built environment of Graiguenamanagh through the Village Renewal Programme.
11. To take steps in association with local community bodies and business interests to improve the environment and appearance of Graiguenamanagh in the interests of attracting enterprises and tourist visitors to the town.
12. To require a high standard of design and landscaping in industrial development, in order to maintain the area's attractiveness to new enterprise.
13. Encourage the location of industrial development in the town in order to promote the development and diversification of the local economy to provide additional employment opportunities.

7.0 Retailing

Graiguenamanagh provides the normal services of a market town, including banking, post office, and shopping. The Council commissioned a retail study for the entire County. As part of that study the retail hierarchy of the County was confirmed. Graiguenamanagh was placed in the sub county town category below Kilkenny City and on a par with Castlecomer, Graiguenamanagh and Thomastown.

The study confirmed that Graiguenamanagh performs an important function in its role as a market town for its hinterland. The location of retail development will be assessed through the sequential test. For details of the sequential test see sections 3.4.11 and 3.4.26 of Vol. 1.

For Graiguenamanagh it is recommended that significant proposals for retail development of 500m² (gross) or greater convenience and comparison would be assessed against a range of criteria. For details on this see sections 3.4.24 and 3.4.25 of Vol.1.

In general it will be the policy of the Council to maintain and enhance the role of Graiguenamanagh as a local market centre for its rural catchment area and as a centre to service its anticipated expansion during the period of the Plan.

It will be a policy of the Council to:

1. Maintain and enhance the role of Graiguenamanagh as a local market centre for its rural catchment area.
2. To widen the extent of specialist retailing in the town having regard to the retail policies set out in Vol.1 of the plan.

8.0 Tourism

The tourism potential of Graiguenamanagh/Tinnahinch has been recognised for a number of years. Because of its historic qualities, and the recreational potential of the River Barrow and surrounding areas and with an improvement in the towns physical character this economic resource can be developed further. The development of activity-based holidays, particularly involving boating, fishing and walking, is the sector offering the greatest potential for development in Graiguenamanagh/Tinnahinch. The river's relative isolation for much of its length has been identified as an extremely important and marketable feature. Threats to its character arise from new housing development and from tree felling.

Good provision for recreation and amenity is important from the point of view of the well-being of residents of the town, of tourism development and of the attractiveness of the town to incoming businesses. The town has enormous natural potential as an area of high amenity with a range of outdoor activities. The River Barrow is an important recreational resource.

Graiguenamanagh has been identified as a major boating centre in the development of Grand Canal Barrow Navigation by OPW. The OPW's 1985 report states:

““To fulfil this role a good deal of upgrading and infrastructural provision will be required, including construction of a marina and improvements in the appearance and presentation of the waterfront, buildings, general street furniture, surfaces and landscape treatment ... Associated facilities including the provision of visitor information and interpretative services should also be provided. Long term and secure car parking facilities should be provided in association with the local authorities and moorings and boat movements should be supervised through regulations.” (Report by Brady, Shipman and Martin to the O.P.W., 1985). Reinstatement of the 18th Century dry dock downstream of the bridge is also part of the O.P.W.s strategy for development of Graiguenamanagh as such a centre.”

8.1 Tourism Objectives

It is an objective of the Council

1. To encourage the improvement of existing and new recreational facilities which would focus on the particular strengths of Graiguenamangh/Tinnahinch e.g. the river activities, boating, canoeing, fishing, etc and as a base for walking and other similar activities in the adjacent countryside.
2. To liaise with Duchas (Office of Public Works) Southern Fisheries, the South East Regional Tourism Organisation, Bord Failte, Carlow County Council and all other interested bodies to implement an integrated plan to develop Graiguenamanagh-Tinnahinch and Saint Mullins as a major tourism centre.
3. To seek resumption of the restoration of the Duiske Abbey site by the Office of Public Works as a major tourism attraction
4. To implement urban conservation measures and improvements to the town's historic core, and to ensure through an Architectural Conservation Area plan development that the attractiveness of the buildings and natural setting of the town is preserved.
5. To provide well-located and signed off-street parking.
6. To seek to protect the quality and supply of water in the River and Canal system and to liaise with the Southern Fisheries Board and local angling clubs to improve fish stocks.
7. To preserve the rural landscape of the Barrow Valley by means of development control.
8. To require a high quality of design for new development, and to encourage use of local materials.
9. To encourage provision of a wide range of tourist accommodation, including conversion of disused 'over the shop' accommodation or of redundant stone industrial or agricultural buildings and to ensure that it is designed and located so as not to diminish the appearance and character of the area.
10. To prepare an Action Plan for the lands generally known as the 'Pitch and Putt', to provide for recreational, open space, housing, improved access to the historic centre and riverside, all as appropriate.
11. To protect existing amenity uses and open spaces through development control.
12. To protect existing rights of way and improve signposting of established walks and amenity facilities.
13. To seek to ensure provision of recreational facilities appropriate for all age groups.
14. To encourage the development of outdoor recreational /leisure activities which are based on the natural amenities and resources of Graiguenamanagh.
15. To provide significant levels of investment in the provision of roads and sanitary services infrastructure, which will help to foster the development of tourism within the town.
16. To assist in the development of a tourism development strategy for the town and its hinterland in association with Kilkenny City and County Tourism, SERTA, Bord Failte and Carlow County Council.

9.0 Community Facilities

9.1. Education

There are two primary schools and one vocational school in Graiguenamanagh. The V.E.C. School is accommodated in a range of prefabricated buildings and plans for a new V.E.C. are drawn up. There is existing spare capacity within one of the primary schools and the V.E.C. to cater for immediate pupil number expansion.

It is the policy of the Council to:

- Facilitate the provision of adequate primary school facilities in appropriate locations in the town
- Facilitate and encourage the promotion of all forms of continuing education and training in skills needed to develop the local economy.
- To support and facilitate the development of the VEC School and its facilities and the establishment of specialised vocational training, apprenticeships and continuing and distance education.
- To facilitate and encourage the promotion of all forms of continuing education and training in skills needed to develop the local economy.

9.2 Health

The existing health facilities include a health nurse, community welfare service, general practitioner, public health nurse chiropody and dental service.

These are provided in the existing health clinic in the town.

It will be the policy of the Council to

- provide for and encourage the development of health and other community facilities in the Town with the South Eastern Health Board and other statutory and voluntary agencies.

9.3 Library.

The library facility is situated in the town and is connected to the Kilkenny headquarters by leased line. This provides a local gateway to information education, culture and recreation.

It is the policy of the Council to continue to improve the existing library facilities in the town as the need arises subject to the availability of finances.

9.4 Recreation

Good provision for recreation and amenity is important from the point of view of the well-being of residents of the town, of tourism development and of the attractiveness of the town to incoming businesses. The town has provision for G.A.A. sports and for

soccer. Improved provision of recreational facilities for young people and children are needed. The town has enormous natural potential as an area of high amenity with a range of outdoor activities. The River Barrow is an important recreational resource.

It is the policy of the Council -

- To seek to ensure provision of recreational facilities appropriate for all age groups.
- Encourage the development of outdoor recreational /leisure activities which are based on the natural amenities and resources of Graiguenamanagh.
- To protect existing rights of way and improve signposting of established walks and amenity facilities.
- To protect existing amenity uses and open spaces through development control.

10.0 Housing

During the period of the last plan 1.3 hectares of land was rezoned at Brandon Park for housing. It is the intention of the Council to develop 0.5 hectares of these lands in stage one of the overall development as a joint venture housing scheme. This will allow for a more efficient use of the land and a greater housing density than could otherwise be achieved.

10.1 Housing Objectives

It is an objective of the Council

1. To co-operate with Carlow County in implementing a co-ordinated programme of refurbishment, urban renewal and house construction to cater for the needs of Graiguenamanagh – Tinnahinch in conjunction with designations put forward in the Town Renewal Plan for Graiguenamanagh – Tinnahinch.
2. To encourage continued use of accommodation above shops for private or rental use.
3. To ensure the maintenance and preservation of housing within the town centre, and to encourage continued residential use of upper floors.
4. To encourage sensitive conversion and reuse of historic structures where an original use has become redundant.
5. To utilise the powers under the Derelict Sites Act (1990) to require the maintenance of residential properties in non-derelict condition.
6. To encourage planned housing development of serviced lands within the development boundary and to encourage a wide range and high standard of design within these developments. The Planning Authority will require that serviced/serviceable lands will be developed in depth and at sustainable densities. The use of under utilised or brown-field sites will be preferred where possible in order to improve the environmental character of the town.
7. To reserve land so as to offer opportunities for locational choice for housing development within the development boundary, and to seek to maintain a clear division between the town and the county.

8. It is an objective of the Council to implement the housing strategy contained in appendix A of the County Development Plan.
9. The Council will require that 18.7% of the land zoned for residential use or for a mixture of residential and other uses be made available for the provision of social and affordable housing.
10. That residential developments have a good social mix, providing a range of unit types/sizes.
11. To provide for good quality pedestrian/cycle links between new developments and the town centre.
12. To ensure a high quality of building design and open space in all proposed housing, and other developments and to preserve where possible existing hedgerows, trees and habitats.
13. To encourage residential use on upper floors within the town over ground floor retail/office; or community/cultural facilities and where appropriate, retail/community/cultural facilities incorporated into housing schemes.
14. For residential units within the designated areas of the Town Renewal Plan residential units shall have the following minimum sizes:

Type	Unit Size
1 bed	500sq. ft
2 bed unit	700sq. ft
3 bed unit	1,000sq ft.

11.0 Roads, Transportation and Car Parking

A considerable volume of heavy traffic passes through the town centre to the ports of New Ross and Waterford. This traffic is having marked effect on the town's environmental qualities and causes potential damage to historic buildings, and in particular, Duiske Abbey, through noise, vibration, etc. The provision of a relief road to remove this traffic from the historic centre, would have marked environmental benefits and allow further improvements to be made to the central areas, including widening of footpaths, etc. Lack of off-street car parking is a serious constraint to the economic life of the town. A line has been reserved for a relief road to the east of the town.

11.1 Roads Objectives

- To reserve from development the line of the proposed by-pass to the west of the town
- To implement phase 2 of an agreed traffic management plan for the town.
- To identify and facilitate as a matter of urgency a suitable location for off street parking for shoppers and secure parking for future waterways development.
- To adopt traffic solutions which are not injurious to the town's historic street pattern.
- To seek funding to improve footpaths and lighting within the town, having regard to the its special historic and architectural character.

12.0 Sanitary Services

Planned extensions and improvements to sanitary services will be made subject to the availability of finance. It is expected that work on the Graiguenamanagh sewerage scheme will commence before the end of 2000.

It will be the policy of the Council to:

1. Provide a water supply to meet the existing and projected needs of the town.
2. Ensure that Graiguenamanagh is provided with an adequate waste water treatment system which will comply with all relevant environmental standards.

12.1 Sanitary Services Objectives

1. To provide an augmentation to the Graiguenamanagh water supply scheme.
2. To carry out improvements to the main drainage system and to provide a treatment plant at Brandondale within the period of the plan.

13.0 Conservation

By preserving characteristic features of the County, we seek to maintain and nurture our cultural heritage as part of our identity. The intrinsic value of the Graiguenamanagh townscape, the areas of nature conservation and the sites, monuments, and structures of historic, architectural, artistic or technical interest is a major resource for the development of tourism and economic development while contributing to the quality of life. The sustainable management of this heritage is a key priority. The Council will seek a balance of accessibility and tourism development along with the conservation and preservation of the protected structures and heritage items generally and their settings.

Graiguenamanagh has a rich heritage and through the policies and objectives in Chapter 9 of Vol. 1 of the Development Plan the Council will seek to maintain and preserve that heritage.

It is the policy of the Council to use its powers and available resources to protect the architectural archaeological, historic and artistic heritage of Graiguenamanagh both for its cultural and tourism value in accordance with the policies set out in Chapter 9 of Vol. 1 of the County Development Plan.

13.1 Conservation Objectives

The following are the objectives of the Council:

1. It is an objective of the Council to prepare an Architectural Conservation area Plan for the town with the period of the Plan.
2. It is an objective of the Council to seek the preservation/conservation of the following structures.

Item		Location
Diske Abbey	I	Chapel St.
Bridge	I	Chapel St.
Row 4-bay, 3 storey houses	R	Chapel Street (E.)
Row four early 19th C gabled gothic cottages	R	Chapel St. (E)
Abbey gates	N	Chapel St. (E.)
Classical gates on E side of graveyard	N	Chapel St. (E.)
“M. Ryan” pub - 3 bay façade	L	Main St (W)
“E. Prendergast”	R	Main St (W.)
Garda Barracks	R	
4 bay, 3 storey 18th C house with “medieval” doorcase	R	MainSt. (E.)
“McElroy Chemist” good lettering and imitation block work	L	Main St. (E.)
“Staunton” good lettering	L	Main St. (E.)
Early 19thC school – pedimented building with clock and bellcote crenellated gateway	L	Main Street
Granite warehouse of 7 bays, 4 storeys	L	The Quay
Brandondale House	L	

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THOMASTOWN

1.0 Introduction

Function and Aims

The Plan has two main functions:

To provide the strategic guidance for the physical development of Thomastown

To provide the basis for assessing the detailed planning applications submitted to the Council.

The aim of the Thomastown Draft Development Plan, as part of the Draft County Kilkenny Development Plan is to ensure the proper planning and sustainable development of the town. It will therefore facilitate the co-ordinated social, economic and environmental development of Thomastown and its environs and for the conservation and enhancement of its natural and built environment. The Local Authority also has an obligation to promote principles of sustainable development as outlined in “Sustainable Development - A Strategy for Ireland” 1997, as adopted by the Government. It is therefore the duty of the Local Authority to ensure a sustainable balance between socio-economic growth, cultural growth and the environment.

2.0 Locational Context

Thomastown is situated approximately 10 miles South West of Kilkenny City and 20 miles N.E. of Waterford City. The Mount Juliet estate is located to the east. The R700 Regional Route linking Kilkenny to Rosslare via New Ross and the Dublin-Waterford National Primary Route N10 intersect at Thomastown. The town is also served by the Waterford - Dublin railway route via Kilkenny. Thomastown acts as a market and service centre for the surrounding hinterland.

Thomastown is attractively set within the Nore Valley, mainly on the north bank of the river. The river's flood plains remain as grazing land on both the north-west and the south east of the river. The extremes of topography to the south of the river have precluded substantial development, being either liable to flooding or too steep to develop. A tributary stream runs through Thomastown, and was conducted in the 1780s beneath Market Street. There are number of fine views of Thomastown from its entry points.

3.0 Historical Development

The town was established during the 13th century by Welsh Norman settlers. The town was originally known as Grenan but its present English-Irish name refers to its association with the family of Thomas Fitzanthony, an Anglo-Norman seneschal of Leinster. In 1370 the town was walled (parts of which still survive on the southwestern side of the town between the river and Mill View House) and later in the 14th century a

bridge was constructed. The town functioned as a fortified inland entrypoint for Kilkenny City. Separate to the towns mercantile core was the development of the river as an industrial base. During the 17th and 18th centuries the town established itself as both a storehouse and as a centre for milling. A number of very large mills were developed along the river during this period.

The town lost its role as a port for Kilkenny during the 1830s, due to the silting of the river Nore when navigation between Thomastown and Inistioge was lost to the town. Thomastown is now generally regarded as the second town of the county with an established commercial and residential base.

4.0 Urban Structure

The medieval core of Thomastown is a square block formed by Low Street, Pipe Street, Market Street and the Quays and is concentrated on the west bank of the Nore river. The streets and site plots at the centre of Thomastown were laid out in the 13th Century so as to maximise the number of properties with street frontage. This layout is essentially unchanged since that date. Narrow convoluted streets and sharp angled junctions, combined with urban compactness, give the town a unique identity. The buildings were generally 2 or 3 storey in height with a patchwork of outhouses, storehouses, bakehouses, yards and small gardens to the rear.

The Dublin and Kilkenny roads leading out of this central square have been developed mainly in a linear fashion, as terraced housing. Topographical features have contributed to the stepping of development along the town's hilly areas, thus they command fine views over the river Nore.

Thomastown is recognised for its highly attractive townscape, which results from the quantity, quality and diversity of its historic buildings, and from its riverside surroundings. Dramatic change in scale is a particularly attractive feature of the town, with a number of very large-scale buildings (mills, hospital, churches, community buildings) contrasting strongly with small terraced houses and cottages. These very large and very small buildings are the most vulnerable structures, the large-scale buildings being costly to maintain and convert to new uses and the small scale being difficult to adapt to today's requirements.

There is considerable scope for restoration, renovation and infill in the town centre. This must be carried out so as to retain and enhance the distinctive appearance in character and in detail, of Thomastown's vernacular architecture. It is a priority of this Plan to encourage new uses for redundant buildings. Particular features characteristic of the town, and which are endangered by removal include steeply random-slatted pitched roofs of a very small slate size, small-paned sliding sash and casement windows, scrolled - fascia shop-fronts and door cases with simple fanlights. The retention or replacement of these features which were lost is a policy of the County Council. Buildings listed for preservation, in the record of protected structures are itemised in the Conservation section of the town plan and also in the appendices to the County Development Plan.

4.1 Urban Structure Objectives

It is an objective of the Council

1. To preserve and enhance the street pattern and distinctive architectural character of Thomastown's historic core. Where new development is proposed within the town these should relate to the context provided by other buildings, street and plot patterns, building frontages, established public views, landmark buildings and other townscape elements.
2. To encourage the planned development of serviced lands within the town and to discourage road frontage development in areas zoned for development and on the approach roads to the town.
3. To continue to seek the removal of dereliction by repair and reconstruction, using relevant powers under the 1991 Derelict Sites Act.
4. To preserve the medieval street layouts and plot lines of the centre of Thomastown.
5. To develop a long - term plan for the landscaping of Market Street, including the relocation of the public toilets and the replacement of the Market Cross as a focal point at the junction of Low Street and Market Street.
6. To encourage and assist a co-ordinated programme of restoration and refurbishment of the buildings throughout the town in conjunction with designations put forward in the Town Renewal Plan for Thomastown.
7. To encourage establishment of a new, preferably public use for St. Mary's Church.
8. To strongly encourage the use of local materials, in particular limestone, for boundary walls and other structures.
9. To prepare an Architectural Conservation Area Plan for Thomastown to guide its future conservation and as appropriate future development.
10. To retain the clear distinction between the town and surrounding areas by means of development control.
11. To encourage and assist the conservation of old stonewalls and the general improvement and cleaning up of the riverside downstream of the Bridge.
12. To have a good social mix in new residential developments providing a range of unit types/sizes.
13. To investigate the provision of pedestrian/cycle paths linking parts of the town otherwise poorly connected.
14. The new developments should address the public realm in a manner appropriate to their use and location.
15. To seek the preservation of those items of archaeological, architectural and historic interest listed as Protected Structures in the County Development Plan including items of industrial archaeology.
16. That all developments within the town are of a high quality and use ecologically sustainable materials and construction details.
17. To encourage mixed use developments such as upper floor residential over ground floor retail; upper floor community/cultural facilities over ground floor retail/office and where appropriate, retail/community/cultural facilities incorporated into housing schemes.

18. That all development in the expression of its form should relate to its context and scale.
19. That all development should integrate with the town structure maximizing potential for developing new or existing connections with adjacent areas of the town.
20. That all new public buildings should be fully accessible. (This may not always be possible in existing buildings, particularly where the necessary interventions would mean the loss of important historic fabric or features. Where this happens partial access will be encouraged.
21. To provide a clear hierarchy of public spaces.
22. To encourage and facilitate street planting and seating in appropriate locations. Orientation of seating, shelter, shading by planting, nearness to traffic, suntrap potential, etc are all issues to be considered in assessing the location of such features.
23. To have a high quality of public lighting in all developments appropriate to the area.
24. To ensure that new cabled services in the town are located underground and to seek to have all existing overhead cables undergrounded on a phased basis.

5.0 Population

Thomastown is County Kilkenny's largest town, with a population of 1,581 recorded at the last census (1996). This constitutes an increase of 94 persons since the 1991 recording. The trends in population of the intercensal period 1966 to 1996 is shown in the table below.

Year	Town	County	Pop as % of the County
1966	1,262	60,463	2.08
1971	1,270	61,473	2.06
No census in 1976			
1981	1,477	70,806	2.08
1986	1,500	73,186	2.04
1991	1,487	73,635	2.01
1996	1581	75,336	2.09

As can be seen from the table above, Thomastown has increased in population since the 1966 census with the exception of a decrease from 1986 to 1991. It has also managed to retain its percentage share of the population of the County.

Development has been constrained within the town due to a lack of infrastructural services. This will be rectified during the plan period with the upgrading of the existing treatment works serving the town. This will allow development to proceed with a resultant increase in the population during the Plan period.

5.1 Population Objective

To provide conditions in Thomastown which allow it to sustain and strengthen its role as a population centre within County Kilkenny.

A new census of population has been undertaken in the year 2002. It is an objective of the Council to monitor and analyse the results from the new census as they become available during the period of the new plan in order to identify problems and opportunities which might arise as a result of changes in the towns population.

6.0 Labour Force/Employment

Thomastown has an established residential and commercial base with resources such as banks, credit union, schools, equestrian college, geriatric hospital nursing home, courthouse, Garda station railway station as well as a diverse range of retail shops, public houses etc.

The key employment sectors are health, education, agriculture, and agricultural related services, tourism, craft production, professional services and retailing.

Unemployment has shown a decline in Thomastown over recent years in line with the improved economic performance of the country generally. Unemployment registered in the Thomastown exchange has decreased from an average of 686 in 1993 to 389 in June 2000.

6.1 Employment Objectives

It is an objective of the Council:

1. To ensure that adequate amounts of land are zoned for industrial development within the town.
2. To improve the attractiveness of the built environment in Thomastown as a place in which to work and live and as a location for industry, services and tourism investment.
3. To urgently investigate availability of industrial lands and start-up premises in and around Thomastown, and to identify appropriate sites for development.
4. To seek a new location for the abattoir currently located in the tower house to the west of the bridge and to encourage relocation of this business.
5. To liaise with the Industrial Development Authority Enterprise Ireland the County Development Board, and with local development and enterprise organisations to encourage new firms to locate in Thomastown and to facilitate the expansion of

existing firms through the provision of infrastructure and the identification and reservation of lands.

6. To liaise with all relevant bodies in establishing premises for use by local start-up businesses.
7. To preserve and enhance Thomastown's good quality environment in the interests of attracting enterprises and tourist visitors to the town.
8. To investigate the feasibility of increased use of hydro-power in Thomastown and to encourage the refurbishment and reuse of old industrial buildings.
9. To facilitate development of suitably located and designed tourist accommodation of all types.
10. To assist and encourage training and education in Thomastown, in particular the Craft and Equestrian Schools.
11. To improve the attractiveness of the built environment in Thomastown as a place in which to work and live and as a location for industry, services and tourism investment.
12. To improve the quality of the built environment of Thomastown through the Village Renewal Programme.
13. To take steps through the Town Renewal Programme in association with local community bodies and business interests to improve the environment and appearance of Thomastown in the interests of attracting enterprises and tourist visitors to the town.
14. To encourage and promote the strengthening of Thomastown as the local market centre for its rural catchment area.
15. To require a high standard of design and landscaping in industrial development, in order to maintain the areas attractiveness to new enterprise.

7.0 Retailing

Thomastown provides the normal services of a market town, including banking, post office, and shopping. The Council commissioned a retail study for the Entire County. As part of that study the retail hierarchy of the County was confirmed. Thomastown was placed in the sub county town category below Kilkenny City and on a par with Castlecomer, Callan and Graiguenamanagh.

The study confirmed that Thomastown performs an important function in its role as a market town for its hinterland. The location of retail development will be assessed through the sequential test. For details of the sequential test see sections 3.4.11 and 3.4.26 of Vol. 1.

For Thomastown it is recommended that significant proposals for retail development of 500m² (gross) or greater convenience and comparison would be assessed against a range of criteria. For details on this see sections 3.4.24 and 3.4.25 of Vol.1.

In general it will be the policy of the Council to maintain and enhance the role of Thomastown as a local market centre for its rural catchment area and as a centre to

service its anticipated expansion during the period of the Plan.

It will be the policy of the Council to:

1. Maintain and enhance the role of Thomastown as a local market centre for its rural catchment area and as a centre to service its anticipated expansion during the period of the Plan.
2. To widen the extent of specialist retailing uses within the town having regard to the retail policies set out in Vol.1 of the plan.

8.0 Tourism

Thomastown has the basis for providing a range of good quality holidays, and also contributing to the overall success of tourism in the county and region.

The major tourism assets of the town itself include its appearance, history and character, and also the richness and variety of architectural and archaeological endowment in the surrounding area.

A major tourism attraction adjacent to the town is Mt. Juliet which has developed since 1990 and is now one of the major employers within the County. Mt. Juliet is now recognised as a high quality tourism and sporting resource of significant local, national and international importance.

The vitality of craft production in the Thomastown area has created a niche for specialist craft and manufactured goods, which are produced and sold in Thomastown. This type of retail is particularly beneficial in building up tourism activity and in generating employment.

The Watergarden at Ladywell street which is run by the Camphill Community has developed as a tourism feature within the town and is noted within various guide books. The amenity of the gardens has been developed with a coffee and craft shop and garden open to the public as well as craft, catering and therapeutic facilities for the day attendees.

8.1 Tourism Policy

It will be the policy of the Council to:

2. Provide a significant level of investment in the provision of roads and sanitary services infrastructure, which will help to foster the development of Tourism within Thomastown.

3. Co operate in the development of a tourism development strategy for the town and its hinterland in association with Kilkenny City and County Tourism, SERTA, Bord Failte and local development and enterprise organisations.
4. Encourage the development of outdoor recreational /leisure activities which are based on the natural amenities and resources of Thomastown
5. Investigate the possibility of developing a tourist theme on the industrial archaeology of the town as part of the tourism development strategy for the town.

9.0 Community Facilities

9.1 Recreation and Amenity

Thomastown has a good range of sports facilities and community organisations. The extent of commitment to community organisations is impressive and gives Thomastown a considerable capacity for self-generated development. The formation of links between the different groups might assist in the undertaking of more ambitious projects and ensuring that community initiatives are co-ordinated and mutually supportive.

9.1.1 Policy:

It is the policy of the Council

1. to preserve, provide for and improve recreational facilities within the town.
2. to seek the preservation of mature trees in Thomastown unless they have been shown to be unsafe.

9.2 Recreation and Amenity Objectives

1. To assist and co-operate with residents' associations and local voluntary bodies in
2. improving amenities throughout Thomastown.
3. To extend as the opportunity arises the existing riverside walk to the west of Thomastown.
4. To seek to ensure that adequate and appropriate recreational facilities are available to different age groups and different sections of the community.
5. To improve accessibility and facilities for river swimming for residents and visitors.
6. To seek the removal of dereliction and the improvement of previously derelict sites including the gravel pit adjacent to the railway viaduct at Jerpoint.

9.3 Education

Thomastown is well catered for with regard to primary, secondary, and training courses. The two primary schools are at full capacity and it is proposed to amalgamate them during the plan period, which would cater for an increase in pupil numbers. The V.E.C. also proposed to take over more land in order to provide additional classrooms and recreational space. There is existing spare capacity within the V.E.C. to cater for immediate pupil number expansion.

The Camphill Community at the Watergarden in Ladywell Street has craft, catering and therapeutic facilities for day attendees.

It is the policy of the Council to:

1. Facilitate the provision of adequate primary school facilities in appropriate locations in the town
2. Facilitate and encourage the promotion of all forms of continuing education and training in skills needed to develop the local economy.
3. To support and facilitate the development and expansion of the VEC School and its facilities and the establishment of specialised vocational training, apprenticeships and continuing and distance education.
4. To facilitate and encourage the promotion of all forms of continuing education and training in skills needed to develop the local economy.

9.4 Library Facilities

The library service in Thomastown is provided on a part time basis. To provide a better level of service to the community the opening hours need to be expanded and the facilities upgraded.

It is the policy of the Council to continue to improve the existing library facilities in the town as the need arises subject to the availability of finances.

9.5 Health

The existing health facilities within the town includes the geriatric hospital and the health centre. The services provided include a health nurse, community welfare service, general practitioner, and dental service.

It will be the policy of the Council to provide for and encourage the development of health and other community facilities in the Town with the South Eastern Health Board and other statutory and voluntary agencies.

10.0 Housing

The availability of good quality well located housing for purchase and rental is vital to the future development of Thomastown. Additional lands have been zoned for residential purposes in order to release lands within the town for residential development.

10.1 Housing Objectives

- a) To ensure that an adequate amount of residentially zoned land is available to cater for the expansion of the town.
- b) It is an objective of the Council to implement the housing strategy contained in appendix A of the Development Plan.
- c) The Council will require that 18.7% of the land zoned for residential use or for a mixture of residential and other uses be made available for the provision of social and affordable housing.
- d) To reserve land so as to offer opportunities for locational choice for housing development within the Development Boundary, and to seek to maintain a clear division between the town and the county.

- e) To ensure the maintenance and preservation of housing within the town centre, and to encourage continued residential use of upper floors. To encourage the rebuilding of new residential infill development where vacant plots exist.
- f) To seek improvement and enhancement of existing council-built housing estates.
- g) To encourage planned housing development of serviced lands within the development boundary and to encourage a wide range and high standard of design within these developments. The Planning Authority will require that serviced/serviceable lands will be developed in depth and at sustainable densities. The use of degraded or brown-field sites will be preferred and utilised where possible in order to improve the environmental character of the town.
- h) To ensure a high quality of building design and open space in all proposed housing, and other developments and to preserve where possible existing hedgerows, trees and habitats.
- i) To encourage conversion to residential or tourist accommodation use of historic structures, including mills, whose original use has become redundant.
- j) To encourage and assist a co-ordinated programme of restoration and refurbishment of the buildings throughout the town in conjunction with designations put forward in the Town Renewal Plan for Thomastown.
- k) To encourage sensitive conversion and reuse of historic structures where an original use has become redundant.
- l) To utilise the powers under the Derelict Sites Act (1990) to require the maintenance of residential properties in non-derelict condition.
- m) To provide for good quality pedestrian/cycle links between new developments and the town centre.
- n) To have a good social mix in new residential developments providing a range of unit types/sizes.
- o) To ensure a high quality of building design and open space in all proposed housing, and other developments and to preserve where possible existing hedgerows, trees and habitats.
- p) To encourage residential use on upper floors within the town over ground floor retail/office; or community/cultural facilities and where appropriate, retail/community/cultural facilities incorporated into housing schemes.
- q) For residential units within the Town the following minimum sizes shall be required:

Unit Type	Unit Size
1 bed unit	500sq. ft
2 bed unit:	700sq. ft.
3 bed unit:	1,000sq. ft.

11.0 Roads, Transportation and Parking

11.1 Roads and Transportation

Thomastown is located at the intersection of the R700 regional route and the N9 National Primary Route from Dublin to Waterford.

Levels of traffic in Thomastown's Market St. are comparable to those of the Kilkenny by pass and have serious effects on the environment within the town and with continual danger of damage to buildings. Particularly severe circulation problems exist at the junction of Pipe Street and the Kilkenny Road (R700) which could be relieved in part by parking restrictions in Pipe Street.

The removal of through traffic from Thomastown would increase the safety and well-being of pedestrians and the environmental quality of towns.

It was an objective of the Council to construct a bypass for the town in the 1994 Development Plan in order to relieve traffic from the town.

The National Development Plan 2000 - 2006 has identified significant levels of investment to be made in the national road network in the County. This investment will include the development by 2006 in its entirety within the County to motorway/high quality dual carriageway standard of the Waterford to Dublin (N9). This will relieve the through traffic from the town along the existing N9 and will negate the building of a by pass for this route as proposed under the 1994 Plan. However a by pass line is reserved in this plan to link the R700 and the N9 north of the town and the R700 south of the town to New Ross.

Thomastown is well served in terms of public transport, with rail connections to Waterford, Kilkenny and Dublin, bus services to Kilkenny and coach services to Dublin and Waterford. Taxi services are also provided in the town.

Improved public transport facilities, in particular commuter and tourist services would facilitate economic growth and assist in the sustainable development of the town.

11.2 Parking

Car parking in the town centre is under provided for and leads to overflow parking and congestion along town centre streets. The upgrading of the existing and the provision of new carparking would help alleviate current problems. Ease of circulation within the town is negated by the narrow and convoluted nature of the streets, the sharp bridge approaches and the internal intersections and junctions. On-street parking is viewed as obstructing the flow of through traffic.

In 1998 a traffic management plan was prepared for the town by the Roads Design section of Kilkenny County Council

It is the policy of Kilkenny County Council to implement its Traffic Management Plan.

11.3 Roads, Transportation and Parking Objectives

It is an objective of the Council

1. To develop the Central Corridor Route (Waterford to Dublin) to motorway /dual carriageway standard to facilitate the removal of through traffic from the town.
2. To facilitate and seek the maintenance and improvement of public transport services.
3. To seek funding to extend footpaths and lighting within the Development Boundary on a phased basis.
4. To reserve free from development a by pass line for the town to link the R700 and the N9 north of the town and the R700 south of the town to New Ross.

12.0 Sanitary Services

Effluent is pumped to a treatment facility at Grenan and discharged from there to the Nore. Recent growth and regeneration of Thomastown has been restricted because of an inadequate waste water treatment facility for the town.

Plans are well advanced for the construction of the Thomastown sewerage scheme which will upgrade the treatment works and improve and provide new pipe network.

It will be the policy of the Council to:

1. Ensure that Thomastown is provided with an adequate water supply to meet the existing and projected needs of the town.
2. Ensure that Thomastown is provided with an adequate foul drainage system, which will comply with all relevant environmental standards.

12.1 Sanitary Services Objectives

1. To protect the sources of existing water supplies to Thomastown.
2. To seek to ensure that houses are connected to the public mains wherever practicable.
3. To upgrade treatment works, improve and provide new pipe network for Thomastown Sewerage Scheme.

13.0 Conservation

By preserving characteristic features of the County, we seek to maintain and nurture our cultural heritage as part of our identity. The intrinsic value of the Thomastown townscape, the areas of nature conservation and the sites, monuments, and structures of historic, architectural, artistic or technical interest is a major resource for the development of tourism and economic development while contributing to the quality of life. The sustainable management of this heritage is a key priority. The Council will seek a balance of accessibility and tourism development along with the conservation and preservation of the protected structures and heritage items generally and their settings.

Thomastown has a rich heritage and through the policies and objectives in Chapter 9 of Vol. 1 of the Development Plan the Council will seek to maintain and preserve that heritage.

It is the policy of the Council to use its powers and available resources to protect the architectural, archaeological, historic, artistic and natural heritage of Thomastown both for its cultural and tourism value in accordance with the policies set out in Chapter 9 of Vol. 1 of the County Development Plan.

13.1 Conservation Objectives

The following are the objectives of the Council:

It is an objective of the Council to prepare an Architectural Conservation Area Plan for the town with the period of the Plan.

It is an objective of the Council to seek the preservation/conservation of the following structures.

Thomastown

Item	Rating	Location
C. 13th Medieval Church with C of I Church æcamping out in the ruins'	N	Market Street (N.)
Catholic Church, 1862	N	Chapel Lane (E)
Earlier tower beside the church and castellated school butressed from below	R	Chapel Lane (S)
Church of Ireland - æFirst Fruits' type	N	Market Street (N.)
"J. O'Reilly" bootmaker shop and shopfront	I	Main Street (W.)
"O Murchada" gothic shopfront	R	Market Street (W)
"Ryan and Sons" shopfront	L	Pipe Street (Cnr.)
Housing facing down Pipe Street	L	Logan St.
"Pete Lennon" shopfront and house	L	Logan St. (E.)
"O Sullivan" simple front	L	Logan St. (E)
The Sessions House	R	LoganSt. (E)
"W Walsh" shopfront	R	Logan Street(W)
"E Fenlon" grocer	L	Low Street
"K Mullins" 4 bays, two storeys with cornice and segmental headed windows	R	Low Street
Building opposite Garda Station/good front	L	Low Street
"L Mullins" - good lettering and colour and next house (3 bays)	R	Low Street (S.)
"D. Murphy" has good Edwardian shopfront with gilded lettering on glass and ceramic panels	R	Low Street (S.)

Item	Rating	Location
Next house is 3 bays, 2 storeys	L	Low St. (S.)
Tower house, low, only three storeys, but upto full height joined to 17th C house	I	Low St (S.)
“F McConville” 3 bays 3 storeys	L	Low Street (S.)
Garda Barracks -5 bays-, 3 storeyswith advanced end bays	R	Low Street (S)
Beside the bridge and N. of River “Sweetman’s Castle” - merchants tower house and store	I	
Bridge	I	
“The Bridge House” 3 bays, 3 storeys, with an arch, gable ended and facing the bridge	R	Mill St. (S.)
two small 2-storey houses	L	Mill St. (S.)
public house T-plan building, unusual in presenting a large gable to the street	R	MillSt. (S.)
Four-bay, 2 storey house with carriage arch	L	Mill Street (S.)
Opposite a rendered C 18th house with hipped roof bow Venetian window	R	Mill St (S.)
A four bay, 2-storey house	L	Mill St (N.)
Row of three houses that follow	L	
Mill owner’s house, 3 bays, 2 storeys, hipped roof with eaves and single storey wing at rear	R	Mill Street (N)

Item	Rating	Location
Flour mill on the island and mill owner's house; a long 2 storey building with wide doorcase dating from the early C 19th	N	
Pilsworth Four Mill	N	
Old Union workhouse, now St. Columba's Hospital	R	East of the town
Grenan Castle, simple late C 18th. 5 bay, 3 storey house with a fluted doric porch	R	Banks of the Nore, E. of the town

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Waterford Environs

1.0 Introduction

1.1 Plan Area

The area subject of this plan is within an arc around the north bank of the City, encompassing the rural areas, which are subject to development pressures. It also includes the portal area at Belview, and the villages of Slieverue, and Kilmacow (Upper and Lower). The urban area surrounding the Waterford city within County Kilkenny is referred to in this Plan as the Waterford Suburbs. The Environs area is defined on map 1.1.

1.2 Function and Aims

The Plan has two main functions:

- To provide the strategic guidance for the physical development of the study area.
- To provide the basis for assessing the detailed planning applications submitted to the Council.

The bulk of Waterford City lies on the south bank of the Suir, with a small part of the urban area lying to the north of the river. Apart from the Waterford Borough Council ward of Ferrybank, the northern suburbs lie within County Kilkenny. Factors which have constrained urban growth in this area are discussed below. In contrast to the rapid development south of the river, Rockshire in Kilkenny and Ferrybank in Waterford have not grown significantly. This is primarily due to the single link across Rice Bridge, which at peak periods exceeds its capacity. In addition there are two separate pockets of residential development at Rathculliheen and Christendom. For most of the later half of the 20th century lack of mains drainage was a critical element in preventing the development of the area. In the early 1990's, a new mains sewer was laid through the Rockshire and Abbeylands areas.

The main aims of this plan are;

- To meet the infrastructure and development needs of the study area
- To ensure integration of land-use and transportation planning
- To integrate the principles of proper planning and sustainable development into planning strategies
- To establish a clear demarcation between urban and rural areas within the Study Area.
- To provide for the development of the Belview Port area.
- To provide for the planned expansion of Waterford City north of the river from the core area.
- To seek the designation of Belview Port Area as a Strategic Development zone under the Planning and Development Act 2000.

The Local Authority has an obligation to promote principles of sustainable development as outlined in 'Sustainable Development – A Strategy for Ireland', 1997, as adopted by the Government. It is therefore the duty of the Local Authority to

ensure a sustainable balance between socio-economic growth, cultural development and the environment.

1.3 Associated Plans

Within the study, land use planning is influenced by the following Plans:

The Waterford City and Environs Strategic Framework Plan 1998, the Kilmacow Village Study 1998, the Belview Port Action Area Plan 1998, the 1994 Kilkenny County Development Plan and the Rockshire Action Area Plan 1976.

2.0 Population

In the 1998 Strategic Framework Plan, prepared as a joint document by Waterford Corporation, Waterford County Council, Kilkenny County Council and the National Roads Authority, population projections were carried out for Waterford City and Environs based on the 1996 Census of population and reflecting current trends in fertility, mortality and migration.

Three assumptions were used in the projections:

(a) Nil net Migration, (b) Inward migration of 2% every 5 years and (c) Inward migration of 4 % every 5 years.

The upper forecast for population growth provided by the Strategic Framework Document is 60,966 by 2011 based on the higher inward migration assumption.

The issues which emerged from that study were:

- That population forecasts for the city show a growing population.
- That the labourforce of the city is still growing and is projected to grow at twice the rate of the population creating additional demand for employment.
- That the average household size is falling.

* The population projections included the following DED's in south Kilkenny. Aglish, Dunkitt, Kilculliheen, Rathpatrick.

This potential growth presents a significant challenge to planning, land use and urban design issues. There will be increasing demand on Waterford city's urban fringe and rural hinterland within County Kilkenny.

3.0 Settlement Structure

The settlement structure of the Environs comprises the Waterford Suburbs, consisting of Rockshire, Belmont, Abbeylands and Ferrybank areas immediately adjacent to Waterford City, Kilmacow and Slieverue villages, plus in the rural areas, a number of linear road frontage developments, and individual buildings of residential, commercial, industrial and community use. Other villages such as Mooncoin, Mullinavat and Glenmore are close to the Environs also.

4.0 Waterford Suburbs

The area includes Rockshire, Abbeylands, Christendom and Rathculliheen and covers approximately 370 hectares a significant proportion of which is currently undeveloped.

The dominant natural landforms in the area of Waterford Suburbs are Mount Misery and Mount Sion with the River Suir sweeping past. There are vistas both up and down stream of the river. This dramatic topography strongly dictates the character of the area and must therefore be carefully considered at the site planning stage. To the north within Rockshire, the land rises up sharply from the river Suir forming rocky outcrops 80m above sea level along the Rockshire Hill ridge. This high ground contrasts with the rolling landscapes of the gently sloping fields within the valley, which forms the central portion of the Suburbs between the N25 and the disused railway line.

To the east within Abbeylands and Christendom the undulating agricultural land rises running along the south western edge of the Abbey Park estate. To the South of this a prominent headland dominates the abbey lands area at a height of about 50m above sea level. This overlooks the bend in the river Suir and offers spectacular views of Waterford City and the South quays. This headland dominates the topography of the area and is an important structuring element for the planning of the area.

4.1 Landscape Character

There are four identifiable landscape areas within the suburbs as follows:

- A** River Suir Environs.
- B** Lands within the river setting.
- C** Lower lying land.
- D** Ridgelines and higher ground.

A River Suir Environs

This is in general low lying land adjacent to the river corridor. Development in these areas is not recommended due to aesthetic, ecological and practical reasons.

B Lands within the river setting

This is a significant swathe of land to the south of Abbey Park estate which rises from the river environs and Abbeylands area to the estate itself. The area is highly visible from a number of locations within the study area and from Waterford City centre. The area effectively creates a headland which is an integral part of the setting of the River Suir.

C Lower lying land

Most of this land is suitable for development. It sits within a shallow valley and as a result is not particularly visible from south of the river and is not an integral part of the landscape setting of the City.

D Ridgelines and high ground

Of prime importance to the setting of the City is the ridge line of the Rockshire hills. The historic importance of the hills is underlined by the Napoleonic watch towers which were constructed in the 18th century and today make important landmarks above the city centre.

Views from many parts of the city centre to the north are terminated by the ridgelines, the towers and the mature trees that line the Rockshire hill.

The protection of towers, the ridgeline and the mature trees that line the Rockshire hill from development is in the interests of the setting of the City.

4.2 Existing Land Use and Character

4.2.1 Agricultural Land

The majority of land within the Action Area is currently in agricultural use which is characterised by pasture land punctuated by scattered farm buildings.

4.2.2 Residential areas

The majority of residential development on the northern side of the River Suir is contained within the Waterford Corporation boundary. This is primarily 1950's Corporation housing known locally as Rockingham estate. To the north of Rockingham estate more recent development has taken place on either side of the boundary between Waterford Corporation and Kilkenny County Council.

The Abbey Park estate sits in an isolated position in the eastern half of the Study area. The estate is the only significant development within the boundaries of the action area.

Some low density residential development - almost exclusively bungalow style - has taken place along the country lanes with roadside boundary treatment which serve to visually link the plots giving the impression of continuous ribbon development. This form of development is particularly prevalent in the east of the action area.

4.2.3 Industrial Areas

The bulk of employment generating development is located within the south of the action area at Christendom where traditionally the Clover Meats Company has and still operates.

The other significant employment generator is the North quays area which up until the development of Belview was Waterford's industrial port area. Today the North quays is still used for some port related activities, primarily export of livestock and mooring of local trawlers. With the further development of Belview these uses are likely to be scaled down further and the North Quays will become a redevelopment site.

4.2.4 Retail and Community uses

A number of community facilities are located within walking distance of the Action area but within the Waterford Corporation boundary in the Ferrybank area. These include playing fields, community centre, churches and schools. Adjacent to this is a row of retail units which comprise a bank, pharmacy, convenience store, butchers and video rental shop. Further along Fountain street there are two petrol stations with convenience stores which also serve as important local retail facilities. The only retail unit is a small convenience store within Abbey Park estate.

4.3 Transportation

Because of the predominance of radial routes, the area suffers from peak time congestion and subsequent rat running brought about by large traffic volumes entering and leaving the Waterford city centre from the north.

The busiest road in the area is the Ross Road. This is a National Primary route which runs east from the city centre to New Ross, Wexford and Rosslare.

There is now a definite proposal to bypass the section of the N25, which runs through the study area. It is now likely that the N25 bypass which runs from Kilmeaden in County Waterford to Slieverue, just to the north of the study area, will be constructed over the next few years. The construction of the bypass will provide environmental benefits to residents living along the N25 corridor. It is estimated that there will be a significant reduction in the volume of traffic using the existing N25 route once the bypass has been constructed. Capacity on the existing road network will be freed up to accommodate development within the study area.

The Rockshire road runs on a north south axis between the North Quays and the Rockshire area. It is a key local radial route away from Waterford city. Spurring from the Rockshire road is Mountain view road which links Rockshire with the villages of Killaspy and Ballyrobin. This road carries a significant level of traffic travelling to and from Waterford.

The road to the Christendom and Abbey Park areas is accessed from the N25 at Ferrybank. This route passes through the area known as Christendom and then opens out into the Abbeylands area. Before climbing the hill towards the Abbey Park estate the road splits and the access road to the industrial development adjacent to the river spurs off to the right.

4.3.1 Public Transport

Bus services

The area is served by two bus routes which link the abbey park estate and the Rockshire Road estate with the South quays in Waterford City.

Rail services

The area is within close proximity to Waterford railway station and has operating and disused lines passing through it. The operating line links Waterford with Rosslare Europort and skirts along the southern boundary by the River Suir. The disused line bisects the heart of the study area. The line is currently reserved and has been kept free from development.

4.3.2 Walking and Cycling

The large volumes of traffic using the approach roads to Rice Bridge mean that non vehicular forms of transport accessing the city account from a small proportion of the transportation modes used for commuting.

A valued aspect of living north of the River is the proximity to the nearby open countryside. Consequently many people value the numerous footpaths that give people leisure access to the countryside both on foot and bicycle.

4.4 Infrastructure

4.4.1 Electricity Supply

A significant investment in new infrastructure would be required to service the proposed level of development in the Suburbs. At present a 110kv line runs across the River Suir north from the distribution site on the Gracedieu road. Existing development within the study area is served from this source.

4.4.2 Gas

Bord Gais have a corporate aim of serving all new dwellings during the construction phase. Over the past four years Bord Gais has served all new dwellings within the study area on this basis.

4.4.3 Sewerage

In the early 1990's, a new mains sewer was laid through the Rockshire and Abbeylands area and has the capacity to serve all development in the foreseeable future. The Newrath area of the suburbs is not serviced by a mains sewer at present. It is an objective of the Council to identify a site for the provision of a sewerage treatment plant to service the Newrath area during the lifetime of the plan.

4.4.4 Water Supply

The primary water supply is from the Mount Sion hill reservoir station which supplies the recent housing developments off Rockshire road.

Water supply will not restrict development in the foreseeable future. There are however problems in supplying housing on land above 60metres with water at appropriate pressure.

4.4.5 Roads

The construction of the N25 bypass will provide environmental benefits to residents living along the N25 corridor. This new link will take through traffic away from the existing N25.

It is estimated that there will be a significant reduction in the volume of traffic using the existing N25 route once the bypass has been constructed. Capacity on the existing road network will be freed up to accommodate development within the study area.

4.5 Design Approach

Current urban planning and design thinking advocates “sustainability as a major objective in the planning of new neighbourhoods. The approach to the development of the area is underpinned by this concept, providing places and homes that enhance the quality of life for today’s population whilst safeguarding and improving that quality for future generations.

4.5.1 Plan for neighbourhoods

It is essential that the development of the Action Plan be conceived as a neighbourhood or neighbourhoods and not as a series of independent housing estates. Neighbourhoods are distinguished by having a range of facilities within easy walking distance of the centre. Most people are prepared to undertake a ten-minute walk, which prescribes a neighbourhood with a maximum radius of about half a mile.

The following principles have been applied in locating development within the Action Area:

- Landscape structure has developed hand in hand with the urban structure;
- Hedgerows and important tree clusters are retained in the public realm;
- Development boundaries are governed by topography rather than ownership boundaries;
- Streets follow contour lines and hedges wherever possible;
- Important landscapes are protected

4.5.2 Design for the future

Consideration of the key demographic trends identified in the Strategic Framework Plan together with concerns raised about access to affordable housing at the public participation stage should inform the housing mix.

Higher densities can help to reduce travel distances and promote efficient use of land and resources, but they require context specific response to site layout and housing design. Flexible built forms, which will permit change and adaptation with time, will be encouraged, as is a range of housing types, tenure, affordability and cost.

4.5.3 Landscape Structure

The Plan proposes a landscape structure, which will create wildlife corridors on both a north/south and east west axis and provide a transition between rural and urban areas on this important edge of settlement location.

The Plan seeks to minimise the impact on the landscape character areas of A, B and D identified in paragraph 4.1 and in particular to try and preserve their open character.

Elements of these visually prominent areas were zoned for residential development in the 1972 Rockshire Action Area Plan and that Plan was used as guidance for development in the area since that time. Public and professional attitudes to the protection of visually prominent open spaces have changed since the 1970's and takes much greater regard of the visual impact of development and loss of distinctive landscape. This Development Plan reflects this enhanced concern for visual amenity whilst at the same time allowing development to take place.

Traditionally the northern bank of the River Suir was characterised by large dwellings set within extensive grounds. To protect this important visual amenity the Action Area Plan proposes to establish an Arcadian Residential Development Policy which preserves this tradition and ensures that visually prominent land is not intensively developed. The policy is in line with commercial house building thinking. It permits development of exclusive, higher value housing which can justify higher house prices by offering low densities, mature landscaping and spectacular views over the city. .

4.5.4 Arcadian Residential Development

Proposals for residential development within these areas should achieve the following criteria:

Densities of 15 dwellings per hectare or lower.

Buildings shall be of a domestic scale generally two storeys in height and set well apart.

Existing landscape features such as mature trees and hedgerows must be maintained. Where identified on the plan, existing hedgerows should be 'planted up' to screen development.

In all cases extensive landscaping should dominate within the site and along all boundaries. Schemes for structural and site landscape should be an integral requirement of development proposals.

Building and parking areas should be well concealed from public view.

4.5.5 Country Parks

The Plan proposes the establishment of "country parks" between the new neighbourhoods. The Plan proposes parks in the following areas seeking to protect visually sensitive areas while at the same time allowing development in certain visually sensitive areas by way of the Arcadian Residential Development Policy.

The areas to be protected are:

- Rockshire Hill Ridgeline and
- River Suir setting.

The parks would occupy the most strategic landscape setting of Waterford City and would comprise the following -

- working farmland where owners wished to continue farming

- community woodland, particularly along the skylines and as a backdrop to new development
- Sports pitches and recreation areas
- Public access walkways and cycle routes along the axis of each area.
- Small formal parkland where adjacent to new development.

The boundaries on the zoning map between the residential and park areas are not intended to be rigid. They are intended to be flexible to allow for innovation of design and interaction between the housing areas and the country parks.

4.5.6 Neighbourhood Structure

Four new centres are envisaged in addition to the existing local centre on the Ross Road in Ferrybank.

A district centre is proposed at Ferrybank East in accordance with the retail strategy for Kilkenny City and County while new local centres are envisaged at Rockshire Belmont and Rathculliheen/Abbeylands.

Ferrybank East

The lands zoned for residential purposes in this Development plan will accommodate approximately 4,400 dwellings bringing a population in the order of 12,000 people. In 1996 the area had a population of 1,615. The combined end population will be over 13,500 which is of the order of 20% of the planned population of 70,000 for Waterford City. A total population of the size envisaged requires a greater range of goods and services within close proximity than Neighbourhood centres would provide. A district centre at this location will reduce the need to travel to centres in Waterford City and south of the City and this meets the RPGs test of efficient, equitable and sustainable standards. The site at Ferrybank East is central to the area with ready access to public transport and thus best meets this test. The construction of the N25 bypass will provide the opportunity to enhance the environmental quality of the corridor through the area and into the heart of Ferrybank.

Rockshire Hill

Much of the area is within 800 metres of the existing neighbourhood centre on the Ross road and it is expected that the neighbourhood centre for this area will be these existing services. However the dramatic topography of the area means that a local centre, probably consisting of a post office and local convenience or general store and other small shops serving a small-localised catchment population will be required.

Belmont

The Belmont centre will serve a population of approximately 4,000. The neighbourhood should comprise of a small supermarket /general grocery store, sub post office with other small shops and services of a local nature serving its local catchment population.

The location of the disused railway line effectively means that there would be two distinct halves to the neighbourhood linked by the existing footbridges and a new vehicular link across the cutting. The main vehicular access to the neighbourhoods would be from the Ross Road to the North and Abbey Road to the south.

Rathculliheen/Abbeylands

In the longer term similar considerations will apply to Rathculliheen/Abbeylands whose population will also approach 4,0000. In the short term recent and new housing will continue to look to Ferrybank for local services.

4.5.7 Housing Clusters and Density

The size of a neighbourhood is partly determined by the distance that people walk in their everyday lives and therefore establish the range of facilities that can be supported by that community.

In the Plan, facilities have been located as close as possible to the centre of “pedestrian sheds” represented by an 800 metre radius which is the equivalent to a ten minute walk.

In the Rockshire Hill the neighbourhood will be of smaller scale with mixed uses such as local surgery, post office and convenience shopping proposed at the local centres.

At the centre of the Belmont Abbeylands Neighbourhood community uses such as primary school, health centre, library, retail and service trades would be required.

More compact forms of development are located around the neighbourhood centres, possibly catering for ancillary businesses and smaller households.

The neighbourhoods will have two distinctly different characteristics by virtue of their context, position and local topography. The Rockshire Hill and Ferrybank East areas are conceived as more urban being closely linked to the existing city and in close proximity to existing residential and industrial development.

The second neighbourhood is envisaged as more of a village character, with the local centre arranged around a village green and square.

4.5.8 Housing Strategy

Part V of the Planning and Development Act 2000 (the Act) requires that housing strategies be drawn up by planning authorities and integrated into their development plans. The strategy is to have regard to the proper planning and sustainable development of an area and will be concerned with the overall supply of housing within the administrative area of the Local Authority.

1. It is an objective of the Council to implement the housing strategy contained in appendix A of the County Development Plan Vol.1.
2. The Council will require that 18.7% of the land zoned for residential use or for a mixture of residential and other uses be made available for the provision of social and affordable housing.

4.6 Transportation Strategy and Objectives

With the construction of the Waterford bypass and the down grading of the existing stretch of road between Slieverue and Rice Bridge the opportunity exists to enhance the environmental quality of this corridor. The development of new neighbourhoods in the eastern half of the study area will afford the opportunity to do this.

A central part of the strategy for the east of the study area is the preservation of the railway route through the area. In the longer term it is a central part of the action area plan that the route is reinstated as a commuter route.

4.6.1 Green-way Network

Throughout the study area the Plan proposes a number of “green-ways”. The green - ways are pedestrian and cycle routes which will interlink new neighbourhoods. The majority of these routes will be used for leisure and recreation purposes and are intended to form the spine of the country park areas. A key green-way will be along the line of the disused railway route.

4.6.2 Specific Transport objectives

The following objectives are of priority along the existing N25.

- Frontage development facing onto the road.
- Creation of a tree lined avenue along the route;
- the designation of cycle lanes on either side of the road,
- The construction of controlled crossing points increasing pedestrian permeability on a north south axis.

Other transport objectives of the Council for the area include:

R1) To develop a roundabout at Belmont on the Ross Road and a local distributor road in order to serve proposed housing development lands at Belmont north and south of the N25. (R1 on the zoning objectives map)

R2) To realign the Mountain view Road to form a new junction with the Rockshire road and to cul de sac the cut off section of the Mountain View Road. (R2. on the zoning objectives map).

R3) Re instatement of the disused railway line through east of the study area as a commuter line

R4) To reserve a site for a park and ride facility.

R5) To establish a green - way along the line of the disused railway line. The green - way to be established alongside the railway line at the same level of the adjacent fields but not within the cutting.

R6) To support and facilitate the establishment of a new ferry link from the North quays to the City centre.

R7) To establish a park and ride facility which would be available for local people as well as Park and Ride customers.

R8) To provide a vehicular link across the railway line cutting between Belmont and Rathculliheen/Abbeylands.

In the longer term, as the Waterford suburbs develop, additional road infrastructure may be necessary. Along with other options the possibility of locating a relief road from Belview Port to the Rockshire road along the New Ross railway line will be investigated provided that existing and future transportation objectives for rail links and pedestrian and/or cycle links for the existing corridor are not compromised.

5.0 Kilmacow

5.1 Description

Kilmacow can be looked upon as two distinct villages Upper and Lower. The Upper and Lower sections are approximately one kilometre apart, each of which forms an independent built up village core. They are separated by farmland with a scatter of houses. Both village cores have remained essentially unchanged over the years except that many of Lower Kilmacow's buildings have been abandoned whereas Upper Kilmacow has a more prosperous and cared for appearance.

To the north of Upper Kilmacow are the areas of recent housing development, which have been the basis of the village's dynamic population growth. The recent housing developments have taken place in an unplanned manner almost completely unrelated to the village core or to any concept of urban development.

As part of the review of the 1994 County Development Plan a Kilmacow Village Plan has been prepared.

For detailed development objectives for Kilmacow the Kilmacow Village Plan amended draft 2002 should be consulted.

6.0 Slieverue

6.1 Description

The village of Slieverue has a reasonably compact form. It also has a linear development of houses along adjacent roads. The village is physically delimited along its south-east to north east side by the by pass and has definable edges to both sides of its main street, with only the linear spread to the northern side creating a weak edge.

Immediately south-west of Slieverue is Milepost village, a small independent cluster which, like lower Kilmacow, is also in need of improvement.

Infill development around Milepost will assist in consolidating its existing village form. The cluster between Milepost village and Slieverue will be confined within the development limits shown in order to keep the expansion of the two villages physically and visually independent in the interests of retaining and enhancing compact village form and scale.

6.2 Slieverue and Milepost Village – Development Objectives

1. To ensure that future development within the Slieverue area is contained within the development limits set for Slieverue, Milepost village and ancillary housing areas as shown on Map 6.2.
2. To prepare a local area plan for Slieverue in a partnership and participatory manner with the local community during the period of the plan.
3. To have a good social mix in new residential developments providing a range of unit types/sizes
4. To ensure a high quality of building design and open space in all proposed housing, industrial, commercial and other developments and to preserve where possible existing hedgerows, trees and habitats.

5. That all developments within the village are of a high quality and use ecologically sustainable materials and construction details.
6. That all developments in the expression of form should relate to its context and scale.
7. To have a high quality of public lighting and dwelling houses in all developments appropriate to the area.
8. To ensure adequate amounts of recreational open space within all new developments.
9. To connect Slieverue to the proposed waste water treatment plant at Belview.

7.0 Belview Port

The Belview area is located approximately 3 miles from Waterford City. The Belview Portal and Industrial Area Action Plan was adopted in 1994, but reviewed in 1997-8. It has been reviewed again as part of the making of this County Development Plan. The Action Plan sets out all of the development strategy, policies and objectives of Kilkenny County Council for this area.

The port at Belview offers an opportunity for port related industrial development alongside it as well as offering scope for industrial development at a national strategic level. It is likely to become one of the most important ports nationwide and it could in combination with the proposed industrial area, develop into a significant employment centre for the whole south east region. The Belview area readily meets the requirements for strategic industrial development having locational advantages that include:

- Close proximity to a modern port
- Excellent transport links
- A planning framework which provides for development within an attractive agricultural and woodland setting
- Proximity to a major urban centre with established industries, an available workforce, third-level educational facilities and a full range of other industrial, commercial and social facilities
- Potential availability of water, waste water treatment, natural gas and industrial electricity supplies

It is a policy objective of the Council to seek the designation of Belview Port as a strategic Industrial Zone under the provisions of the Planning and Development Act 2000.

For a detailed appraisal of the Belview port area the Belview Action Area Plan 2002 which forms part of the County Development Plan should be consulted.

8.0 The Rural Areas

8.1 Description

The rural areas have dispersed farms and houses, and other commercial, industrial and community uses, plus further suburban style linear road frontage housing developments most notably at Smartcastle and Drumdowney.

However, the unchecked spread of urban generated rural housing especially in linear road frontage development form, could totally change the appearance of the rural areas surrounding the city, as well as leading to water pollution problems and road traffic hazards.

The areas likely to come under pressure will require special policy measures to curtail the further spread of urban generated housing.

The rural housing policy detailed in Chapter 7 of the County Plan will apply for the control of housing in the rural areas of the Waterford Environs.

9.0 Retail Facilities

The Planning Department commissioned consultants to compile a retail study on Co. Kilkenny.

The retail policy adopted by Kilkenny County Council is set out in detail in Chapter 3 Vol.1 of the County Plan section 3.4.

Waterford City's central shopping area acts as the major centre for a wide catchment population including the Environs area, which, although close to it, has only one bridge access across the river. The Environs area is poorly served by local and neighbourhood shopping outlets at present.

The Retail Planning Guidelines state that -

“Normally, the provision of additional centres (district centres) will be based on major growth in population or a clear proven level of existing underprovision.”

On the basis of the planned major growth in population in the Waterford City Environs and the lack of easily accessible quality retail floorspace north of Waterford City Centre, it is recommended that there is a need for a District Centre within Waterford City Environs. The RPGs state the following in respect of purpose built district centres:

“They are usually anchored by a large foodstore and contain a range of unit shops and non-retail service outlets (such as banks, post office or hairdressers).”

The lands zoned for housing in the County Development Plan in the Waterford City Environs will accommodate over 4,000 residential units bringing a population of some 12,000. At 1996, the area had a population of 1,615. The combined end population will be over 13,615 which will be nearly 20% of the planned 70,000 population of Waterford City. A total population of the size proposed requires a greater range of goods and services within close proximity than Neighbourhood Centres typically provide. The District Centre will reduce the need to travel to centres in Waterford City Centre and south of the city and this meets the RPGs test of ‘efficient, equitable and sustainable’. Of the potential locations the site on the N25 adjacent to Ferrybank East is the most central to the area with ready access to public transport and thus best meets this test.

The District Centre will be multi-functional to ensure a range of community needs are met within easy travelling distance by foot, bicycle, car and public transport.

It will provide both convenience and comparison floorspace with the greater balance being towards the former.

The maximum size of supermarket to be developed shall not exceed that permitted in the retail planning guidelines.

The amount of comparison floorspace to be provided shall be such that the greater balance of floorspace will be towards convenience with the actual amount of comparison floorspace subject to the outcome of a retail impact assessment and based on fulfilling local need.

The shopping policy is one, which aims to facilitate the provision of sufficient retail floorspace at suitable locations to serve the shopping needs of the Environs population.

It will also ensure that the locations and Floorspace sizes can be viable in modern commercial retail terms, and that they do not threaten the continued viability and strength of Waterford City centre.

The controlled expansion of retail facilities within the Environs will serve to enhance its attractiveness and convenience as an area within which to live and is intended to provide the catalyst to get people and investment to locate north of the River Suir.

The expansion of population within the Suburbs and to a lesser extent, Slieverue and Kilmacow, will make the provision of shopping outlets more commercially viable. New shops will in turn contribute to the creation of more vibrant village centres at Upper and Lower Kilmacow and Slieverue and will build up their role as neighbourhood/village facilities and again provide for convenience shopping.

9.1 Retailing Objectives

- a) To facilitate the development of a District Centre at Ferrybank East on the N25
- b) To facilitate the expansion of retail facilities in the Environs area, provided the proposed shops are suitably located within the development limits of The Suburbs, Upper and Lower Kilmacow and Slieverue
- c) To facilitate the provision of local neighbourhood shops at convenient locations within the housing development areas of The Suburbs
- d) To facilitate the provision of shops within the village centres of Upper and Lower Kilmacow and Slieverue, whether by new build or premises conversion, providing that they are suitably sited and designed to respect the scale of existing building frontages

It is the policy of the Council to engage with Waterford Corporation, Waterford County Council and Wexford County Council in the preparation and adoption of a joint retail strategy for the greater Waterford area.

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**BELVIEW AREA
ACTION PLAN, 2002**

July 2002

1. INTRODUCTION

- 1.0 The Belview area is located in South Kilkenny approximately 3 miles from Waterford City on the north bank of the River Suir. The Action Plan area extends from Kilmurry in the west to Drumdowney in the east and from the River Suir in the south to the N25 National Primary road (Slieverue By-Pass) in the north.
- 1.1 The development in 1992 of the new Belview Port by the Waterford Harbour Commissioners was quickly followed by recognition of the national and international potential of the portal area for strategic industrial and port related development.
- 1.2 The Belview Portal and Industrial Area Action Plan was adopted in 1994 as part of the Kilkenny County Development Plan. In 1997-8 a review of the implementation of the Action Plan was adopted by the Kilkenny County Council. This Plan is the second review of the 1994 Plan. **This Plan should be read in conjunction with the County Development Plan for the Waterford City Environs**
- 1.3 The planning policy of Kilkenny County Council for the development of the Belview area accords with national policy for sustainable development i.e. that development should take place in such a way that non-renewable natural resources are not sacrificed for short-term advantages.
- 1.4 The objective for Belview is to provide for portal and industrial development within a planning framework which safeguards local environmental resources.

2. STRATEGY

- 2.0 The vision for Belview in the future is of an area of excellent environmental quality, accommodating a port, with its associated activities and infrastructure, along with a small number of large strategic industries situated in 'landscape compartments' in a largely agricultural and wooded landscape.
- 2.1 The main strengths of the Belview area are:
- a. the local environment - its excellent rail, road and portal transportation links
 - b. the well-educated and skilled local workforce based in South Kilkenny and Waterford City and County.
 - c. the highly attractive qualities of the landscape
 - d. the consensus among local and national agencies regarding the development potential of the area
 - e. the acceptance of the principle of well-managed industrial development by the local residential and farming population.
 - f. the provision of a portal and industrial development plan for the area
 - g. a distinct local heritage and identity.
- 2.2 Further infrastructural provision is needed in order that the area should be able to achieve its development potential:
- a. Waste water treatment facilities
 - b. A substantially augmented water supply
 - c. A surface water drainage system
 - d. The establishment of woodland buffer areas
 - e. Substantially enhanced electricity supply
 - f. Natural gas connection
- 2.3 Development of the port and of industrial uses inevitably lead to changes in the landscape. It is not possible to both develop the Belview area for industrial and commercial use, and to conserve the existing extent of agricultural character.
- 2.4 It is therefore necessary to take positive action to ensure that the amenity value of the area is retained as the character of the area changes. Afforestation provides not only visual buffering, but also filters dust and attenuates noise. It has a commercial and an environmental value in its own right and can make an important contribution to biodiversity.
- 2.5 The portal and industrial 'landscape compartments' will be developed at relatively low densities, with substantial woodland belts planted within each site, particularly along the boundaries. Existing woodlands and hedgerows will be retained and incorporated wherever feasible. The protection and buffering of existing residential developments will be a priority.
- 2.6 Modern industrial location decisions are increasingly 'quality lead'. The trend with large-scale industry is towards larger sites that allow for buffering of

activities from residential and commercial neighbours.

- 2.7 The County Council endorses this approach which not only maintains the viability of existing valuable adjacent land-uses, but also prevents “bad neighbour” effects from progressively devaluing the attractiveness of an industrial area to new incoming industries.
- 2.8 The development strategy for Belview includes
- a) To seek the designation of Belview Port as a Strategic Development Zone under the provisions of the Planning and Development Act 2000.
 - b) The reservation of lands for direct port activities, and for direct port-related industries and activities such as 'break-of-bulk';
 - c) The identification and reservation of 'landscape compartment' areas, within which strategic industry will be permitted
 - d) The identification and reservation of locations for induced and support activities
 - e) The reservation of routes for infrastructure and pro-active approach to securing infrastructural provision
 - f) The safeguarding of established adjacent land uses, such as agriculture, tourist and residential use.
 - g) To promote a partnership approach to environmental matters in accordance with Local Agenda 21, and to seek to involve all relevant parties in a co-operative approach to local environmental protection

3. LAND USE

- 3.0 The rural character of the area generally remains strong, despite the development of the port and of other industries and the development pressure arising from the expansion of Waterford City. The main land-use throughout the Action Plan area is agriculture, with a mixture of grazing and tillage. High grade soils in the area are a prime agricultural resource. Shipping, fishing and mariculture take place on the River Suir.
- 3.1 Other land uses in and adjacent to the Plan area include:
- port-related uses, including the original warehouse at Gorteens, and the current major port developments, together with associated activities;
 - industry, such as LPC-Coillte (strand board manufacture) and ITW Hi-cone (manufactures polyethylene stretch film);
 - residential use
 - areas of woodland
 - tourism use
 - mariculture and fishery
- 3.2 The area contains a significant number of residential properties. Generally, these may be classified as:
1. Residences associated with farm-holdings
 2. Non-farm roadside dwellings
 3. Houses within Slieverue and Milepost villages
- 3.3 Much of the housing, especially in categories 2 and 3 described above, is located in clusters of varying sizes throughout unserved rural lands, such as Drumdowney, Drumdowney Lower and Gorteens.
- 3.4 Neighbouring areas in County Waterford have seen substantial investment in tourism development in recent years, including a grade A hotel and two golf courses in the immediate vicinity. Maricultural development in the Suir estuary has expanded rapidly and is a major employer. Awareness of the importance of heritage buildings to cultural identity and tourism has increased. The protection of such resources is an objective of this Plan.

LAND-USE OBJECTIVES

- 3.5 The land-use objectives of Kilkenny County Council for the Belview area are:
- To facilitate the long-term development of the Port of Waterford through the identification and reservation of suitable lands.
 - To facilitate the location and development of port-related industries and services through the identification and reservation of suitable lands.
 - To reserve lands for strategic industries through the identification and zoning of suitable 'landscape compartments', within which strategic industry may locate.
 - To facilitate the location and development of appropriate ancillary activities and services through the identification and zoning of suitable locations where such uses can cluster.
 - To protect the environmental, agricultural and residential amenity of the area
- 3.6 The zoning objectives and other principal elements of the proposed layout for the Action Plan area are shown on Map 3 - Zoning and Objectives Action Plan.

4. PORT AND PORT-RELATED DEVELOPMENT

- 4.0 The Port of Waterford's location in the south-east of the Ireland offers minimal journey times to the south-west of Britain and to the Continent.
- 4.1 The port area is served by two railway lines and has direct access, via the N29 road, to and from National Primary Route N25 (Euroroute E30). Because of its excellent rail and road links the port can service the whole country.
- 4.2 The site of the new port at Belview was selected at a point below restrictive bends in the River Suir. Much of the land requirement for the port development has been obtained through reclamation.

Port facilities include

- an existing 800 metres of wharf, with a total length of 1,100 metres permitted.
 - modern handling equipment for containers and bulk materials.
 - direct access from the National Primary Route network and direct access to the national rail network
- 4.3 A Planning Permission exists at Belview for non-passenger roll on - roll off traffic.
- 4.3 The port has been accommodating increasing numbers of cruise vessels in recent years.

PORT-RELATED INDUSTRIES AND ACTIVITIES

- 4.5 Port-related industries and activities are those, which by their very nature, must be located in close proximity to the port, or which would be at a serious disadvantage if not located immediately alongside the port area. Examples include break-of-bulk activities, such as the bagging of coal or fertiliser, warehousing, freight handling, trade and commercial vehicle parking, etc.
- 4.6 Port-related industries and activities should be distinguished from industries that may wish to take advantage of the port for importing raw materials and/or exporting final product. Whilst there would be advantages to such industries in locating alongside a port, the port is not essential to their operation. Such industries will not be permitted to locate in lands reserved for port and port-related uses because of
- the limited supply of land which is suitable for port-related industries and activities
 - the need to contain the overall extent of development in the area so as to support - the environmental strategy of this Plan

- the ready availability of industrial land elsewhere in the Waterford area, including South Kilkenny at Abbeylands and in Waterford City.

PORT AND PORT - RELATED OBJECTIVES

- 4.7.1 Approximately 74 hectares along side the River Barrow and adjacent to the port are reserved for port and directly port-related activities in the 1994 Plan. Further expansion of the port is anticipated and additional land is required for port related activities. An additional 32 hectares is to be reserved for port and directly port related activities in this Plan. The topography of the Belview area restricts the availability of level land close to the river. Given the potential of Belview Port, this is a limited area, and will, therefore, be strictly reserved for uses all of which must either be directly related to the operation. Port and port-related uses which underpin the viability of the port facility will, within the constraints set out in this plan, be given priority.
- 4.8 A list of typical uses is given in Schedule 4A. However, it will be necessary in each case for potential developers to clearly establish that a proposed use is appropriate for location within the zone.

Schedule 4A. Typical Port-Related Industries and Activities

General Warehousing;
 Groupage and Distribution;
 Break-of-Bulk Activities, such as coal and fertiliser bagging;
 Silos and Storage Areas and Storage Tanks;
 Container Storage;
 Railway Sidings;
 Truck Marshalling/Parking; Trade Car Parking; Visitor Parking;
 Fuel Supplies;
 Security Services; Traffic Management Control
 and other uses directly related to the port.

POLICY 4B

It is an objective of Kilkenny County Council to reserve the lands identified for port and port-related activities on Maps 2 and 3 for these uses.

POLICY 4C

It is the policy of Kilkenny County Council that potential developers of areas zoned for Port and Port-Related uses establish to the satisfaction of the County Council that a proposed use is appropriate to the zone.

5. INDUSTRIAL AND ANCILLARY DEVELOPMENT

STRATEGIC INDUSTRY

- 5.0 Certain industries have requirements that preclude location on industrial estates, usually because of the need for a very large site. Such industries are categorised by IDA Ireland and Enterprise Ireland as 'strategic industries'.
- 5.1 The requirements for such industries, as identified by IDA Ireland, includes large sites (often of 20+ hectares) with good ground and environmental conditions. The type of very large industrial sites zoned at Belview are of limited supply and are a national resource. Because of this the Belview area is of prime strategic importance nationally.
- 5.2 The Belview area readily meets the requirements for strategic industrial development having locational advantages that include:
- a) close proximity to a modern port
 - b) excellent transport links
 - c) a planning framework which provides for development within an attractive agricultural and woodland setting;
 - d) proximity to a major urban centre with established industries, an available workforce, third-level educational facilities and a full range of other industrial, commercial and social facilities; and
 - e) The proposed augmentation of water supplies to the area through the South Kilkenny Water supply scheme.
 - f) The proposed waste water treatment plant to be constructed by Waterford Corporation.
 - g) The potential availability of natural gas and enhanced industrial electricity supply.
- 5.3 Strategic industries, by their nature and size, can have the potential to create a significant environmental impact. The spatial relationship between strategic industries and residential areas is an important consideration of the Action Plan.

STRATEGIC INDUSTRIAL DEVELOPMENT OBJECTIVES

- 5.4 Five landscape compartments are designated in this Plan for use by strategic industries and are marked on Map 3 as 'LC1' to 'LC5'. They vary in size from approximately 18 to 50 hectares, and total some 169 hectares. The larger compartments could accommodate more than one strategic industrial development, separated by internal woodland buffering.

- 5.5 These 'landscape compartments' are zoned for strategic industry and woodland only.
- 5.6 The development of strategic industry within all of the 'landscape compartment' sites will take some time to develop, perhaps ten years or more. It is an objective of the County Council to reserve the compartments for prolonged lengths of time because of the overriding importance to the national economy of having such a resource available.
- 5.7.1 Industries locating within the identified landscape compartments will be required to provide extensive landscaping within the site and along the boundaries. Landscaping schemes for each landscape compartment should form an integral part of the overall development proposal and should be guided by the Landscape Analysis Plan (Map 1) and an up to date assessment carried out by the developer at the time of the planning application.
- ♦ The absolute maximum overall site coverage to include buildings, yards, circulation and parking shall be 70%
- 5.8 Buildings and other structures shall be located so as to provide optimum buffering to surrounding land-uses, particularly to existing residential properties. The onus will be on the developer to ensure that sufficient land is acquired to conform to the requirements of this Plan, over and above the operational needs of the development.
- 5.9 Details of general planning requirements for each of these 'landscape compartments', are given in the schedules in Appendix 2.

POLICY 5A

It is the policy of Kilkenny County Council to reserve the lands identified within 'landscape compartments' LC2 to LC5 on Map 3 for strategic industrial use only. Other new development, except required woodland use, will not be permitted within these areas. Developments allowed in the 'landscape compartments' will be subject to the requirements set out in the schedules in Appendix 2, including the requirements for on-site landscaping and woodland planting.

NON STRATEGIC INDUSTRIES OBJECTIVE

- 5.10 It is the objective of the County Council to continue to direct small and medium industries into industrial estates or other areas zoned in South Kilkenny for industrial uses. Lands at Belview will be reserved for strategic industries and for industries that have a clear requirement for such a location because of proximity to the port. The onus will be on developers to clearly establish to the satisfaction of the Planning Authority their need to locate within the area.

SMALL/MEDIUM INDUSTRIES OBJECTIVE

- 5.11 To zone further appropriate lands in South Kilkenny and the Waterford Environs as the need arises in order to provide for small and medium enterprises and in this regard to consider the feasibility of providing an industrial estate.

INDUCED / ANCILLARY INDUSTRY

- 5.12 Induced developments are those that service strategic industries and the port. They include service and supply activities, such as container maintenance, vehicle maintenance and repair, welding services, etc., as well as warehousing and services such as catering, accommodation and fuelling for vehicles.
- 5.13 For many of these activities, it is an essential requirement to be near to markets. Site requirements are generally small, and good planning practice requires they cluster at 1 or 2 suitable locations. Lands are reserved in the Action Plan for these uses.

INDUCED/ANCILLARY SERVICES AND INDUSTRIES OBJECTIVES

- 5.14 A site close to the N29 Port Access Road, (marked AS7 and AS8 on Map 3) has been identified as suitable for the location of ancillary services. This area will have a particular role in serving and supporting port development and the strategic industries, and will accommodate mainly small or medium enterprises, clustered on the identified sites. Consideration would also be given to the location of such activities in the undeveloped section of AS7.

POLICY 5B

It is the policy of Kilkenny County Council to reserve the lands identified AS7 and AS8 on Map 3 for ancillary services, serving and supporting port development and the strategic industries. All developments will require to have due regard to residential amenity, and will be subject to the terms and conditions of the schedules in Appendix 2.

- 5.15 The Glass House and Knockmullan Gardens; Site AS6: The gardens at Knockmullan contain significant mature woodland, with a high amenity value. It is proposed to retain the existing gardens, and to allow appropriate uses on the site. The gardens could accommodate a number of well-sited buildings without losing their inherent character, and these might include offices or other use related to port activities including accommodation and catering facilities. Development of the site will be subject to the adoption of a suitable management agreement to protect and sustain the woodland and specimen trees within the area. These sites are suited to 'clean' operations including office, administration, catering, accommodation uses etc.

Policy 5C

It is the policy of Kilkenny County Council to permit appropriate uses on the site of Knockmullan Gardens (AS6), subject to the retention of the features of the garden, the integration of the proposal with its character and the adoption of a woodland management plan in accordance with the provisions of Appendix 2.

- 5.16 The Glasshouse is an early 18th Century House of fine architectural qualities, occupied until the early 1990s. It was the site of the origin of the Waterford area's renowned glass-making industry.

POLICY 5D

The Glass House is an important structure both for its architectural qualities and its very early historic associations with Irish glass making. It is an objective of the Planning Authority to seek the retention and restoration of the building for a suitable new use. Kilkenny County Council will, therefore, consider proposals for suitable administrative, office park or other light business or commercial uses related to the port. Developments will be subject to the terms and conditions of the schedules in Appendix 2.

6. ENVIRONMENT

- 6.0 The Belview area is designated in the Kilkenny County as an Area of High Amenity. It has an established farming and residential population.
- 6.1 The character of the Belview area is changing as the port and industries develop, and significant changes have already occurred. Good quality layout, landscaping strategy, siting, design and environmental management practices will be required to protect the amenity of the area and the well-being of residents and the local workforce.

ENVIRONMENTAL AND AMENITY OBJECTIVES

- 6.2 The County Development Plan includes policies and objectives to protect environmental resources such as Areas of High Amenity, Natural Heritage areas(NHA's), Special Areas of Conservation (SAC's), Views and Prospects, Archaeological and historical sites and Buildings and Structures of artistic architectural or historical importance.
- 6.3 This Action Plan as part of the County Plan accords with these objectives and seeks to afford the greatest possible protection to the environment whilst also facilitating the development of the Belview Port and appropriate industry in the area. General environmental and amenity objectives for the Belview area are:
- a) To monitor and protect the environmental quality of the area
 - b) and to seek the provision of appropriate environmental management arrangements.
 - c) To actively promote and encourage high environmental standards and practices.
 - d) To ensure a high standard of design in all development projects.
 - e) To have regard to the likely environmental impact of all development proposals.
 - f) To secure a high level of woodland planting in the area.
 - g) To protect heritage features in the area.
 - h) To have regard to residential amenity

- 6.4 Careful siting, high quality layout and landscaping, together with appropriate structural planting, will be required of all developments in the area. Colours of structures shall be such as to successfully blend with the surrounding natural environment and visual clutter will be controlled.

POLICY STATEMENT 6A

It is the policy of Kilkenny County Council to continue to require a high standard of environmental protection in all new development.

LANDSCAPE ANALYSIS

- 6.5 The existing landscape is analysed on Map 1 - Landscape Analysis Plan. This shows features of the landscape, rivers, houses, and significant areas of woodland, reinforced by similar areas of woodland on the County Waterford side of the River Suir. The principal ridgelines are identified, and a slope analysis shows a number of areas where the slopes are 1:10 or steeper. Major views within, or into, the area are also identified.
- 6.6 Landscape compartments have been identified having consideration to visual impacts: However, given important views from Snowhill from the County Waterford which overlook the area, visibility of development must be assumed in all cases and site development standards will be set with this in mind.

NATURAL HERITAGE SITES AND FEATURES

- 6.7 Proposed Natural Heritage Areas: The nearest such feature is the King's Channel of the River Suir, categorised as of Ecological (Ornithological) interest, It is classified by the Parks and Wildlife Service as of national importance.

HERITAGE BUILDINGS AND STRUCTURES

- 6.8 The Action Plan area contains a number of historic and heritage features that have survived former landscape changes (Figure 1). These features are important in giving identity to the area, and should be protected. Those features that merit protection are listed in Schedule 6A. The preservation of these features should be incorporated into development proposals.

POLICY STATEMENT 6B

It is the policy of Kilkenny County Council to protect the natural environment and to protect the heritage features listed in Schedule 6A.

Schedule 6A. Heritage Features to be Protected

Feature	Townland	
Glass House	Gorteens	Historic house And industrial site
Gorteens Castle	Gorteens	Castle located in a farmyard
Mill	Gorteens	near river
Corn Mill	Gorteens	inland from river
Ecclesiastical Remains	Rathpatrick	Church and Graveyard
Enclosure	Rathpatrick	Ringfort
Tobermurry	Kilmurry	Holy Well
Kilmurry Castle	Kilmurry	Tower house
Ecclesiastical Remains	Kilmurry	Church and Graveyard
Knockmullan Garden	Gorteens mainly	Interesting collection of exotic trees and shrubs
Springfield	Gorteens	
Prospect House	Gorteens	
Bellevue House	Gorteens	

PUBLIC AMENITY AREA

- 6.9 The local residential population have experienced a reduction in access to active and visual recreation in particular loss of access to the riverbank in the

portal area. It is reasonable that an appropriate amenity provision should be made, located outside industrially zoned lands.

- 6.10 An area has been identified in the vicinity of Gorteens Castle which would be suitable for a public amenity area, combining an area of open space with the enhanced presentation of the castle.

POLICY STATEMENT 6C

It is the policy of Kilkenny County Council to seek to develop Gorteens Castle and its immediate surroundings as a public amenity area to serve the Bellevue area with the assistance of contributions from developers.

TREES AND WOODLAND

- 6.11 Bands of broadleaf woodland, together with avenues and trees along hedgerows, give the area a well-wooded appearance
- 6.12 Significant belts of woodland in the area are commonly associated with the numerous small streams that flow south or south-east to the River Suir. Examples include the stream between Prospect House and Springfield House, and the stream between Springfield House and the site of Bellevue House.
- 6.13 More ornamental, but nevertheless significant, woodland is associated with Knockmullan Gardens, the site of the Glass House and the bank between the railway and these two properties.

WOODLAND OBJECTIVES

- 6.14 An important element of the overall strategy for the Belview area is the creation of an attractive woodland setting for the port and for industrial development through primary and secondary woodland planting and through the retention and management of existing trees and woodland.
- 6.15 The retention of existing woodland and trees will be required wherever feasible. Site layouts should have regard to this requirement and proposals made for the protection of trees and woodlands during and post construction.

It is an objective of the County Council to undertake a survey in order to identify and assess the value of trees in the area and will consider making Tree Preservation Orders as necessary.

6.16 **Primary Structural Woodland Planting**

This will consist of required structural afforestation principally within the perimeters of landscape compartments. These lands may be managed as commercial woodland. Species-mix will facilitate phased felling. By avoiding clear-felling wooded areas will remain a permanent feature of the Landscape.

The areas of primary structural planting are shown on Map 3. The appropriate planting of planned buffer zones will be required as a condition of permission for development.

- 6.17 **Secondary Structural Woodland Planting:** The principal function of secondary structural planting is to provide separation and buffering between the 'landscape compartments', with their strategic industries, and other land-uses, including the port and residential properties. Landowners will be encouraged to take up incentives and grant-aid which is available for broadleaved and mixed planting of native species of appropriate lands.
- 6.18 **Implementation:** The primary and secondary woodland structural planting will be achieved through a series of measures that include:
1. Planting of lands in public ownership in accordance with the Action Plan.
 2. A further planting requirement i.e. a contribution towards planting ridgelines, the amenity lands or lands between the port and industrial development will be required.
 3. Where lands are acquired for development in the form of entire holdings including some lands zoned for agricultural or woodland use, the planting of residual lands in accordance with the Action Plan will be sought.
 4. The encouragement and promotion of suitable woodland planting by existing landowners both as primary planting (prior to development) and secondary planting of lands zoned as agricultural or woodland.

POLICY 6D

It is the policy of Kilkenny County Council to require structural perimeter planting of each landscape compartment and to promote and encourage secondary structural planting. Landscaping schemes for each landscape compartment should form an integral part of the overall development proposal and should be guided by the Landscape Analysis Plan (MAP 1) and an up to date assessment carried out by the developer at the time of the planning application

POLICY 6E

It is the policy of Kilkenny County Council to seek funding from the relevant agencies for the afforestation of lands in public ownership and zoned for this purpose, and to undertake a programme of planting in line with this plan.

On-Site Landscaping: Additional on-site landscaping of a minimum of 5% will be required in respect of all developments.

POLICY 6F

It is the policy of Kilkenny County Council to reserve lands for a public amenity area at Gorteen castle.

POLICY 6G

It is the policy of Kilkenny County Council to protect, where appropriate, important individual trees and groups of trees by the making of Tree Preservation Orders.

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POLICY 6H

It is the policy of Kilkenny County Council to seek to undertake a specialist study of existing trees to provide a basis for the making of Tree Preservation Orders.

POLICY 6I

It is the policy of Kilkenny County Council to seek for the optimum retention of existing trees, tree belts and hedgerows within proposed developments and to require the protection of trees during construction.

POLICY 6J

It is the policy of Kilkenny County Council to reserve lands for structural landscaping as identified on Map 3.

POLICY 6K

It is the policy of Kilkenny County Council to require a high level of landscaping in all developments in the Bellevue area, in line with the policies of the Kilkenny County Development Plan and this Action plan.

NOISE

- 6.19 Industrial noise is a significant issue in the area. Conflicts with residential amenity arise from the operation of the port, especially at night, and particularly from the gantry cranes.
- 6.20 Controls on industrial and port noise impacts are by means of conditions attaching to planning permissions or through Integrated Pollution Control licences on relevant sites.

NOISE MANAGEMENT OBJECTIVE

- 6.21 Physical noise attenuation measures including acoustic screening where appropriate, noise amelioration practice and woodland buffering will be required as necessary. Orientation and siting of plant or activities likely to generate noise should have regard to neighbouring residential premises at the planning stage.

DUST

- 6.22 Port, port-related and industrial activities may all have the capacity to generate dust and production and transportation stages. Regard will be had to assessment and control of dust and conditions may be attached to permissions to require proper control of dust at transportation stage.

INFRASTRUCTURE

- 7.0 The Belview area has a strong transportation infrastructure with good road, rail and portal links, with easy access to Waterford Airport.
- 7.1 There has been considerable investment in the provision of infrastructure in the Belview area since 1992. In addition to substantial investment in portal facilities, the N29 road link connecting with the N25 has been constructed to National Primary standards and improvements have been made to the rail system.
- 7.2 Further infrastructural development is still required with respect to waste water treatment, water supply, electricity and gas supplies. Additional improvements in the transport infrastructure are also proposed.

GENERAL INFRASTRUCTURAL OBJECTIVES

- 7.3 The general infrastructure objectives of Kilkenny County Council for the Belview area are:
- a) To maintain, and further develop as necessary, an adequate road network to serve port and industrial developments.
 - b) To segregate port and industrial traffic from local traffic wherever feasible
 - c) To ensure that all development proposals fulfil traffic safety and vehicle parking requirements as set out in the County Development Plan, Volume One.
 - d) To facilitate the development of the rail network in the area to meet the needs of the port and of industrial development.
 - e) To facilitate the development of a multi modal public transport system to the port.
 - f) To ensure an adequate supply of water to meet the needs of the port and industry.
 - g) To ensure the adequate collection, treatment and disposal of wastewater.
 - h) To prepare and implement a plan for disposal of surface water
 - i) To facilitate the provision of electricity, gas and telecommunications networks.
 - j) To facilitate planned and orderly development of portal facilities
 - k) To require contributions from developers, as deemed necessary by the Planning Authority, to provide infrastructure which facilitates their development.

- 7.4 The principal access to the Belview area is via the Port Access Road (N29) from the N25 National Primary Route (Euroroute E30) at Slieverue. The Council's policy of segregating industrial and port traffic from local traffic has been implemented to date and is upheld in the current review.
- 7.5 Waterford By-Pass: Proposals for a by-pass for Waterford city, including a second river crossing, have been developed. A final decision on the proposed route has been taken, with a westerly by-pass, crossing the River Suir in the vicinity of Granny and linking with the N25 being the preferred option. The construction of the outer by-pass route will enhance the accessibility of the Belview area by road.
- 7.6 As part of the proposals for the Waterford by pass the existing junction of N25 and N29 at Slieverue will be upgraded.

POLICY 7A

It is the policy of Kilkenny County Council to reserve lands, for an improved junction of the N29 Port Access Road with the N25 as per drawing No WFD/RR/18.

- 7.7 Internal Roads: An important element of the development strategy at Belview is the separation of the local agricultural and residential road system and roads accessing the industrial landscape compartments.

ROADS OBJECTIVES

- 7.8 Lines for future roads to serve the port and industries are shown on Map 3. These lines are indicative, but they show the principles to be followed, and have been selected to avoid, as far as feasible, conflict with residential use.
- 7.9 A principle of the Action Plan is that all industrial development, as well as port-related development, should be accessed from the Port Access Road (N29) and the proposed new internal road network. As far as feasible the existing narrow county roads should be reserved for local use only, and for emergency access. Some sections of existing road may, however, require to be upgraded as part of the proposed new network.
- 7.10 Access to 'landscape compartment' LC2, and to the re-located site for the proposed wastewater treatment plant (WT9), is provided from the N29 in the vicinity of Gorteens Castle. Access to 'landscape compartment' LC1 and to the development area AS7 may require improvements to a limited stretch of

Glasshouse Lane. The residential section of Glasshouse Lane will be closed to vehicular traffic to form a cul-de sac at its southern end.

- 7.11 Developers may be required to facilitate long-term road access requirements of the area e.g. access to WT9 via LC2.
- 7.12 Where compartments including the Port and Port-related area are subdivided, the minimum number of access points to the public road system will be permitted and where feasible it will be a requirement that a shared access point be used.
- 7.13 Within development compartments including the port area applicants may be required wherever relevant to show that their proposal does not compromise the future accessibility to other users to zoned lands.
- 7.14 Various techniques of traffic management will be applied, as required, to ensure the segregation of traffic.

POLICY 7B

It is the policy of Kilkenny County Council to provide an adequate internal road network to meet the needs of the port and of industry.

POLICY 7C

It is the policy of Kilkenny County Council to require that all roads provided by developers conform to acceptable standards, and, where necessary, allow for longer-term access.

POLICY 7D

It is the policy of Kilkenny County Council to segregate, as far as possible, port and industrial traffic from local traffic.

RAILWAYS

- 7.15 Two single-track railway lines run through the Action Plan area. The most important of these is the Waterford to Rosslare line which directly serves the port at Belview. This line is used by both passenger and goods trains. The

other railway line is the Waterford to New Ross line. This is lightly used by freight trains only.

- 7.16 The ready availability of rail transport is very important, and distinguishes the Bellevue area from some other strategic industrial sites in Ireland. It allows for direct access by rail onto individual sites and for the development of industries involving heavy or bulky materials without placing undue stress on the road system.

RAILWAYS OBJECTIVES

- 7.17 In addition to the to the above, some of the 'landscape compartments' could be provided with direct on-site access to the railway system via individual spur lines. The preferred use of rail transport will be a criterion for the assessment of strategic industrial proposals.
- 7.18 Lines for spur connections into suitable industrial sites will be reserved and kept free of development. It may be beneficial, at some time, to link the Rosslare and New Ross lines via a loop.

POLICY 7E

It is the policy of Kilkenny County Council to encourage the maximum use of rail transport by the port and by industry in the Bellevue area.

POLICY 7F

It is the policy of Kilkenny County Council to reserve lines for future rail developments, in the form of spur access and a loop linking the two principal lines.

WATER SUPPLY

- 7.19 The need to develop a water supply to facilitate the development of the port area has been recognised in previous development plans. Consultants have been appointed to identify a source of supply for the proposed Belview water supply scheme.
- 7.20 The River Suir has a flow of 100 million gallons per day and large abstractions may be acceptable for certain purposes such as cooling, etc. The river is, however, tidal in the vicinity of Belview, and therefore limited in its suitability for water abstraction.

- 7.21 Kilkenny County Council has commissioned consulting engineers to identify a source of supply for the Belview water supply scheme.
- 7.22 At least one service reservoir will be required at an elevation of about 90 metres O.D. The location of this reservoir will depend on the source or sources of water to be used at Belview. Potential sites will be identified, assessed and reserved free of development.

WATER SUPPLY OBJECTIVES

- 7.23 Future requirements are likely to be met from a combination of schemes, using both surface and ground water. In addition, a site for at least one service reservoir to serve the Belview area, but possibly located in the wider south Kilkenny area, will be required.

POLICY 7G

It is the policy of Kilkenny County Council to continue to investigate and assess potential water supply sources for the Belview area, and to take appropriate actions to ensure adequate supplies to the area.

POLICY 7H

It is the policy of Kilkenny County Council to identify and reserve free from development sites for service reservoirs.

SURFACE WATER DRAINAGE

- 7.24 Surface water drainage for small to medium sized developments in some cases can be facilitated on a site by site basis and discharged to the river. However, there is a need to examine means by which surface water drainage can be facilitated from the larger development areas, especially those in the north of the Action Area.

SURFACE WATER OBJECTIVE

- 7.25 To commission consultants to prepare a plan for surface water disposal throughout the area.

WASTE WATER DRAINAGE AND TREATMENT

- 7.26 The village of Slieverue has a main sewer which discharges to the River Suir after primary treatment. It also serves some rural housing between the village

and the river. It has limited spare capacity for further development. However, there is no other existing foul drainage in the area, and none capable of serving major industrial development.

WASTEWATER TREATMENT PLANT

- 7.27 During the period of the last plan a waste water treatment plant to serve Waterford City Belview and the suburbs of Waterford City in South Kilkenny was designed and planning permission granted by Kilkenny County Council to Waterford Corporation at the identified site at Gorteens adjacent to the Port of Belview.
- 7.28 It is anticipated that the new plant will be constructed during the Plan period.
- 7.29 Even with a public wastewater treatment plant, the larger strategic industries will be expected to provide a level of treatment on their own sites, to bring their effluent to approximately the standards of domestic sewage, and to remove heavy metals, etc. These on-site plants will discharge into the local authority system, leading to the central treatment works. This approach allows for direct control and ready monitoring by the local authority, and is generally acceptable to industry.

WASTE WATER DRAINAGE OBJECTIVES

- 7.30 The specific requirements are for:
- an adequate collection system for the area;
 - appropriate levels of pre-treatment for major industrial effluents; and
 - a treatment plant.
- 7.31 It is an objective of the Council to facilitate the construction of the proposed waste water treatment plant on the site identified as WT9 on map 3 of the Plan.

POLICY 7I

It is the policy of Kilkenny County Council to provide an adequate wastewater collection and treatment system for the Belview area.

POLICY 7J

It is the policy of Kilkenny County Council to require that large industrial developments treat wastewater to domestic standards,

including the removal of harmful or toxic substances and heavy metals, prior to discharge to the public sewer.

POLICY 7K

It is the policy of Kilkenny County Council to reserve the site identified on Map 3 as WT9 for the development of a wastewater treatment plant to serve the south County Kilkenny and Waterford City areas and to facilitate the construction of the permitted waste water treatment plant.

ELECTRICITY

- 7.32 Further large-scale industry is likely to give rise to demands for considerable levels of additional electricity capacity, possibly extending to a total of 15 MW. This, in turn, will require the placing of a 110kv substation and associated high tension lines into the Belview area. The reservation associated with these to be kept clear of development.
- 7.33 Routes for additional high tension lines will be determined following detailed survey and will be subject to planning permission.

ELECTRICITY OBJECTIVES

- 7.34 The on-going development of the port and industry in the Belview area will give rise to increased demands for electricity supply. This, in turn, may require the placing of new high tension lines into the Belview area.
- 7.35 Routes for additional high-tension lines have been identified and reservations for these, and for electricity sub-stations are shown on Map 3. These reservations will be kept free of development.

POLICY 7L

It is the policy of Kilkenny County Council to reserve free of development the reservations shown on Map 3 for high tension electricity supply lines and for sub-stations.

POLICY 7M

It is the policy of Kilkenny County Council to seek the undergrounding of electricity supply cables downstream of the main transformer in the Belview area.

GAS

- 7.36 At present, the area is not serviced by a natural gas supply. Bord Gáis keeps under review the provision of a gas supply for the area, the provision of which is related to the attraction of a potentially large gas- using industry.

A preliminary route and budget report has been carried out by An Bord Gais and a route from Balyduff to Belview has been identified.

GAS OBJECTIVES

- 7.38 A supply of natural gas to the Belview area would further enhance its attractiveness for industry, but is dependent on the attraction of a potentially large gas-using industry. Kilkenny County Council will seek to facilitate the supply of gas to the area.

POLICY 7N

It is the policy of Kilkenny County Council to facilitate the supply of gas to the Belview area.

Individual gas users will be required to provide approximately 30-40 sq. meters of land, on-site, to facilitate the provision of equipment by Bord Gáis.

TELECOMMUNICATIONS

- 7.39 Telecom Eireann upgraded services in the area to facilitate the development of the port. Further up-grading by statutory telecommunications undertakers can be provided as required to meet the needs of future development. This can be facilitated by the incorporation of suitable ducting on new road proposals.

POLICY STATEMENT 7O

It is the policy of Kilkenny County Council to facilitate the provision of telecommunication services in the Belview Area.

Appendix 2

Belview Area Action Plan

Site Development Standards: Guidelines

The Belview Area Action Plan 2000 reserves 'landscape compartments' LC2 to LC5 (Map 3) for future strategic industrial development. Areas are also reserved for portal and ancillary uses and for waste water treatment.

These development control guidelines will be referred to by the planning Authority in order to assess the suitability of sites to specific development proposals. These standards should therefore be referred to by prospective developers in site feasibility studies and in preparing planning applications.

Prospective developers are advised to arrange pre-planning application consultations with the Planning Authority regarding their proposals at the earliest stages of feasibility or design studies.

Landscape Compartment LC2

<u>Size</u>	50 hectares of which 35 hectares is development area.
<u>Use Objective</u>	Strategic Industry in one or more large separate units.
<u>Access</u>	Single access via new road from N29 to north-east corner of the site
<u>Site Coverage</u>	<i>The absolute maximum overall site coverage to include buildings yards circulation and parking shall be 70%</i>
<u>Layout and Design</u>	<ol style="list-style-type: none">1. Access should be maintained through the site to the proposed Wastewater Treatment Plant site WT9.2. If the site is developed for more than one industrial unit, the units should be separated by not less than 20 meters of woodland planting. Where feasible existing internal woodland belts should be incorporated into the boundary of the subdivisions.3. The disposition of structures and planting on the site and general landscape proposals should have due regard to residential properties in the surrounding area. Colours of structures to be dark green or other colour successfully blending with the landscape.4. Due consideration should be given to neighbouring residential properties in the design and arrangement of illumination for the development.5. Existing woodland belts to the east, south and south-west of the site should be retained and protected.6. Development proposals should have due regard to the existing watercourses to the east and west of the site.7. Woodland planting to the northern and western boundaries should not be less than 20 metres in depth, with woodland planting along the eastern and southern boundaries not less than 15 meters in depth. Perimeter security fencing to be located along the inner boundary of the woodland belt.8. Planning applications should be accompanied by a survey of existing individual, hedgerow and woodland trees.9. Planning applications should be accompanied by a detailed landscape plan.

Landscape Compartment LC 3

<u>Size</u>	37 hectares of which 26 hectares is development area.
<u>Use Objective</u>	Strategic Industry in not more than two separate units.
<u>Access</u>	Direct from the N29.
<u>Site Coverage</u>	<i>The absolute maximum overall site coverage to include buildings, yards, circulation and parking shall be 70%</i>
<u>Design and Layout</u>	<ol style="list-style-type: none">1. Particular attention should be given to the layout, design, finish and presentation of buildings and structures close to public roads and road junctions so as to maintain the high quality of the area.2. The boundary to the west of the site should be planted with woodland to a depth of not less than 20 meters.3. Other boundaries should be planted with woodland to a depth of not less than 15 meters.4. Planning applications should be accompanied by a survey of existing individual, hedgerow and woodland trees.5. Planning applications should be accompanied by a detailed landscape plan.6. Perimeter security fencing to be located along the inner boundary.7. Buildings and other structures to be dark green or other dark colour successfully blending into the landscape.

Landscape Compartment LC 4

<u>Size</u>	16 hectares of which 11.2 hectares is development area.
<u>Land Use Objective:</u>	Strategic Industry in a single unit.
<u>Access</u>	Directly from N29 ; potential for direct rail access.
<u>Site coverage</u>	<i>The absolute maximum overall site coverage to include buildings yards circulation and parking shall be 70%</i>
<u>Design and Layout</u>	<ol style="list-style-type: none">1. On the northern boundary of the site, woodland planting should be to a depth of not less than 20 meters.2. Other boundaries should be planted with woodland to a depth of not less than 10 meters.3. The disposition of structures and planting on the site and general landscape proposals should have due regard to the residential properties in the surrounding area, in particular those to the north-east of the site.4. Due consideration should be given to residences, in particular the residence at the north-east corner of the site, in the design and arrangement of illumination for the development. Woodland planting along the western boundary of the site should address the N29 Port Access Road and should be integrated with woodland planting on the other boundaries of the site.5. Planning applications should be accompanied by a survey of existing individual hedgerow and woodland trees.6. Perimeter security fencing to be located along the inner boundary of the woodland belt.7. Buildings and other structures to be dark green or other dark colour successfully blending into the landscape.

Landscape Compartment LC 5

<u>Size</u>	21 ha of which 14.7 hectares is development area.
<u>Land Use Objectives</u>	Strategic industry in a single unit.
<u>Access</u>	Directly from the N29: potential for direct rail connection
<u>Site coverage</u>	<i>The absolute maximum overall site coverage to include buildings, yards, circulation and parking shall be 70%</i>
<u>Design and Layout</u>	<ol style="list-style-type: none">1. On the northern western and southern boundaries of the site, woodland planting should be to a depth of not less than 15 metres.2. Landscape treatment along the eastern boundary of the site should address the N29 Port Access Road and be integrated with woodland planting on the other boundaries of the site.3. Planning Applications should be accompanied by a survey of existing individual hedgerow and woodland trees.4. Perimeter security fencing to be located along the inner boundary of the woodland belt.5. Buildings and other structures to be dark green or other colour successfully blending into the landscape.

Ancillary Services Site AS6

<u>Size</u>	7 ha of which 4.9 hectares is development area.
<u>Land Use Objectives</u>	Ancillary services, including offices or other similar commercial uses, related to the port strategic industries.
<u>Access</u>	From the existing road
<u>Site coverage</u>	Application to be assessed in accordance with policies set out in this Action Plan. Small individual units within a wooded garden setting. Existing gardens to be retained.
<u>Layout and Design</u>	<ol style="list-style-type: none">1. Development proposals must address, conserve and incorporate the amenity value of Knockmullen gardens and the Glass House.2. Planning Applications must be accompanied by a detailed survey of trees and shrubs existing on the site.3. Planning Applications must be accompanied by a detailed landscape plan and management plan for the gardens that will form the basis for a management agreement to protect and sustain the woodland and specimen trees within the area.4. Development proposals should carefully consider the detailed routing services to avoid adverse impacts on the amenity of gardens.5. Development should incorporate the refurbishment and adaptation for appropriate use of the Glasshouse.6. Perimeter security fencing to be located along the inner boundary of the woodland belt.7. Buildings and other structures to be dark green or other dark colour successfully blending into the landscape.

Ancillary Services Site AS7

Size	3.5 ha of which 2.45 hectares are development lands.
Land Use Objectives	Ancillary services, light industry or extension of the existing adjacent use in AS7.
Access	To be determined through a planning application. Regard to be had to the amenity of residents of Glasshouse Lane in the location and design of the access.
Site coverage	
Design and Layout	<ol style="list-style-type: none">1. On the boundary of the site, woodland planting should be to a depth of not less than 20 metres.2. The disposition of structures and planting on the site and general landscape proposals should have due regard to the residential properties in the surrounding area, in particular those to the north-east of the site.3. Due consideration should be given to residences, in the design and arrangement of illumination for the development.4. Planning applications should be accompanied by a survey of existing individual hedgerow and woodland trees.5. Perimeter security fencing to be located along the inner boundary of the woodland belt.6. Buildings and other structures to be dark green or other dark colour successfully blending into the landscape.

Ancillary Services Site AS8

<u>Size</u>	11.5 ha of which 8.05 hectares is development area.
<u>Land Use Objectives</u>	<p>Section A :- general business uses, services e.g. service station, restaurant, accommodation, office etc.</p> <p>Section B:- induced/service industries providing services to the port and/or strategic industries.</p> <p>Section C: warehousing and other ancillary services related to the port.</p>
<u>Site coverage</u>	<i>The absolute maximum overall site coverage to include buildings, yards, circulation and parking shall be 70%</i>
<u>Access</u>	<p>Section A directly from the N29 roundabout.</p> <p>Section B or C from shared access from the N29</p>
<u>Design and Layout</u>	<ol style="list-style-type: none">1. With the exception of an extension to the existing development on the site, manufacturing industry will not be permitted.2. The disposition of structures and planting on the site and general landscape proposals should have due regard to the residential properties along Glasshouse Lane.3. Due consideration should be given to neighbouring residential properties, in the design and arrangement and management of illumination for the development.4. Taller structures should be located to the south of the site.5. The north eastern boundary of the site should be planted with woodland to a minimum depth of 15 metres.6. Retain existing trees and hedgerows if feasible.7. Planning applications to be accompanied by a survey of existing individual, hedgerow and woodland trees.8. Planning applications should be accompanied by a detailed afforestation and landscaping proposal.9. Perimeter security fencing to be located along the inner boundary of the woodland belt.

10. Buildings and other structures to be dark green or other dark colour successfully blending into the landscape.

WT9 WASTE WATER TREATMENT

<u>Size</u>	16 ha of which approximately 6.8 hectares is woodland.
<u>Land Use Objectives</u>	Waste water treatment plant and ancillary structures.
<u>Access</u>	Via LC2
<u>Site Design and Layout</u>	<ol style="list-style-type: none">1. Visual impacts of structures to be minimised.2. Structures and plant to be dark green or other colour successfully blending with landscape.3. Existing mature woodland to be retained and interplanted wherever feasible.

Port and Port Related

<u>Size</u>	32 hectares in total
<u>Land use objective</u>	Port or directly port dependent use
<u>Access</u>	From the N29
<u>Site and Design Layout</u>	<ol style="list-style-type: none">1. Structure and plant to be dark green or other colour successfully blending with landscape2. Perimeter woodland planting not less than 12 meters in width.

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1.0 Introduction

This plan focuses on the various planning issues which are currently facing Kilmacow, and is a product of the local community, Kilmacow Development Group and Kilkenny County Council. All groups have worked and continue to work, in order to achieve a balanced and ordered development of the village and its hinterland.

The need for this plan has arisen from the prolonged and extensive development pressures which Kilmacow has experienced over the past decade. These pressures have given rise to the proliferation of low density one off housing which has detracted from the physical and social amenity value of the area.

The problems associated with Kilmacow have been identified within this Plan. These problems vary in importance in different areas of the village and the Plan analyses the problems and sets out a strategic framework for dealing with them. The end result constituting a plan which will procure an ordered future for the village and its residents.

2.0 The Village In Its Context

2.1 Origins

The name Kilmacow in its most popular form is translated Cill Mhic Bhuith, the church of the son of Buadhach. The lower village is believed to be the older of the two settlements and one of the oldest villages in the country.

Currently the parish of Kilmacow incorporates the four older parishes of Dunkitt, Gaulskill, Kilmacow and Ullid. Kilmacow parish covers an area of 10,357 acres. An intensive milling industry capitalised on the power available from the Blackwater in the 18th and 19th centuries. The final operating mill closed in 1980.

2.2 Location

Kilmacow is situated in the low-lying area of south Kilkenny, close to the border with County Waterford and approximately 6.5km north-west of Waterford City. It lies almost equidistant from two major national primary routes, the N24 Waterford to Clonmel route, and the N9 linking the two cities of Kilkenny and Waterford. The R697 is the main route linking the upper and lower village to Narrabaun while the R622 forms the major junction within the upper village linking this area to Dangan. This location makes the Kilmacow area very attractive for future development allowing easy access to the Waterford area and with future infrastructural improvements, to the entire south east region

3.0 Topography

The character of the upper and lower Village is enhanced by the presence of the Blackwater River which is a tributary of the River Suir. The Blackwater forms the spine for the older built up area which occurs on the western banks of the river. In the past it has been used as a major source of power for the milling industry, the legacy of which is still evident in the village today. Currently it is used as a source of hydro-electricity and also as an amenity for local swimming and recreation. The Blackwater still retains potential for further development. While the Blackwater is well contained in its channel between the upper and lower villages, the floodplain still remains unsuited to development, owing to its susceptibility to flooding and unsuitable topography.

The river has acted as a barrier to development on the eastern banks with the only through crossing point being in the lower village, while access is provided to “The Farm” sports complex in the upper village on a separate wooden bridge. Approximately 500m below the lower village the river becomes tidal.

The most elevated areas of Kilmacow are located in Dangan, with overall heights ranging from 30m OD to 13m OD in the lower village. Throughout the upper village, but particularly from the Dangan area, prominent views of the Commeragh Mountains occur to the south west and Tory Hill to the east, Moolum Rock and the Walsh Hills along with the foothills of Carrigatubrid and Corbally woods. The church spire in the upper village is also very prominent and forms a visual link throughout the village. The lower village is less elevated ranging from 18mOD to 13mOD. Owing to its lower topography prominent views do not occur, with the river, the bridge and the village itself being the dominant features.

In terms of environmental sustainability it is worth noting that Kilmacow is situated above the boundary of a major extensive aquifer and a minor local one, the former contained in dolomitised limestone and the latter in sub reef limestone. Both of these aquifers are deemed to be highly vulnerable, while the sub reef limestone has increased permeability along the Carrick Syncline. These factors place Kilmacow in an area of high groundwater vulnerability and further the need for proper sewage treatment in this area of intensive development pressure.

4.0 Village Layout

The overall layout of Kilmacow displays a marked distinction between separate areas within the village. The overall form of the village is linear stretching for approximately 2km but the bulk of development has occurred in the area north of the upper village at Narrabaun and Dangan. These areas have suffered most from recent residential ribbon development. Despite this fact the upper village still retains an intimate character in the immediate vicinity of the church with a traditional streetscape winding towards the village junction. Most commercial, educational and community facilities are located in this area.

The lower village’s character is almost unique in the south east region. Its traditional streetscape and intimate open spaces retain a quality worthy of preservation, despite being marred by dereliction. The only commercial activity in this area is a public house while the local health centre is also located here.

The intervening area between the upper and lower villages still retains a rural character and is currently in agricultural use. This stretches along the R697 for approximately 1km. Located in this area is a local supermarket and filling station, a small number of residential buildings and “The Farm” sports centre. Also located along this route are some old stone walls which further add to the rural character.

5.0 Village Definition

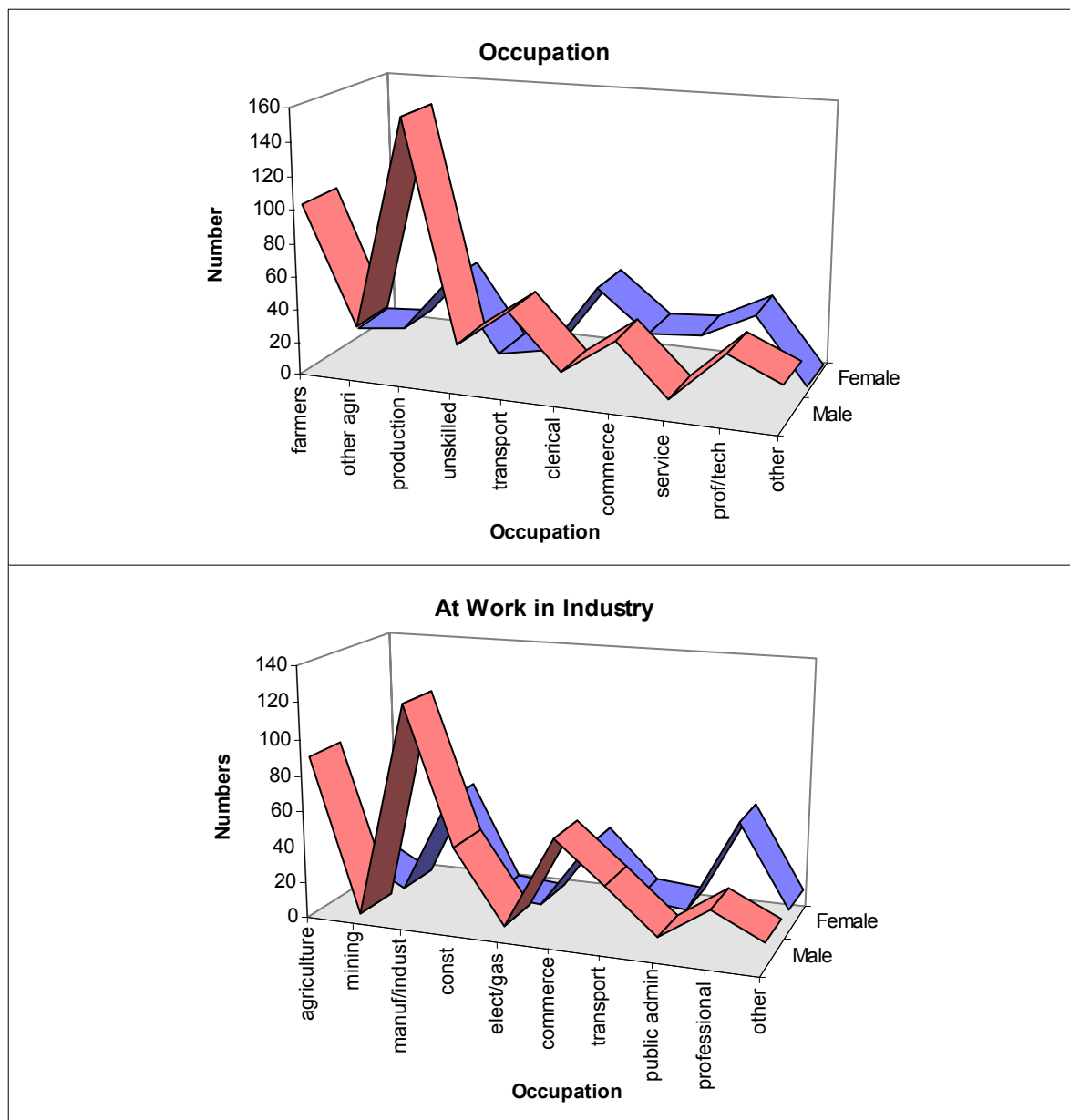
The boundaries and edges to Kilmacow reflect the extent of excessive ribbon development particularly in the upper village. The lower village still retains a hard boundary with its countryside. To a lesser degree the lower village has experienced the problems of one off housing on all approach routes other than the R667 and R640 as both enter the lower village across the bridge. To date the area between the upper and lower village remains undeveloped and this maintains the lower village as a separate entity in itself. An attribute regarded as being worthy of preservation.

This undeveloped tract acts as an effective southern boundary for the upper village. Unfortunately the remaining boundaries are less well defined with a proliferation of residential dwellings on all routes through Dangan and Narrabaun. While the one off housing developments detract from the rural aspect of the village, it must be noted that a number of traditional agricultural homesteads do occur on the approaches to the village. These significantly enhance the rural character of Kilmacow and to a certain degree counteract the ribbon development on the approaches to the village.

While not directly relevant to village definition, the level of dereliction is quite noticeable particularly in the lower village. Here the level is attenuated by the dereliction of the key sites which tend to detract from the surrounding buildings. Seven buildings are derelict in the lower village, three between the upper and lower village, and two in the upper village.

6.0 Employment

Despite Kilmacow being steeped with an industrial past owing to its position on the Blackwater, its current prosperity owes much to a strong agricultural base. In recent years there has been the partial loss of the local creamery which now only functions in a temporary capacity. Despite this agricultural employment still remains the second largest employer in the area, with the largest proportion working on farms above 50 acres. The other major employment areas are those of production and manufacturing, with commerce, professional and technical employment also playing large roles in employment in the area as can be seen in the accompanying figures.



(Source 1996 census)

7.0 Community Services

Education facilities in the village cater for those attending primary level where two primary schools are located in the upper village. Second level pupils are catered for in nearby Mooncoin and Waterford. St Sennans boys school is well served with outdoor activity facilities but, like St Josephs girls school, is lacking in indoor facilities. There are concerns among parents regarding the lack of set down and parking space at the boys school. This problem needs to be addressed in the interest of safety.

Recreational facilities are provided in the area between the upper and lower village and are run on parish lands on a community basis, ensuring equal access for all. This centre has been in operation since 1979 and in this period has been developed to include facilities for athletics, hurling, football, soccer, skittle rings and tennis courts. Changing facilities are also provided. These facilities are enhanced by the provision of ample car parking and access via the privately erected bridge. Currently new changing facilities are being planned.

8.0 Strategy

The planning issues and proposals for Kilmacow evolved from a programme which involved the local community the Kilmacow Development Group and Kilkenny County Council. in the plan preparation process through discussions and meetings where valuable local knowledge was acquired.

A list of priority development issues which require attention in Kilmacow was formulated. These are basically concerned with two issues. Provision of adequate infrastructure and secondly the aesthetic improvement of the village and its environs.

The Infrastructural deficiencies identified in Kilmacow are listed below:

Sewerage	Roadsigns and markings
Public lighting	Hedge trimming
Footpaths	Collection of bulky domestic waste
Roads	Youth club
Flooding	Bus shelters

Issues in Kilmacow relating to aesthetic improvements are as follows:

Derelict sites	Pond Area renovation
Renovation of old buildings	Landscaping
Leisure and sports areas	

The above categories have been noted by the Council and have been taken on board in the preparation of this plan. The plan endeavours to cater for both the immediate and future strategic development issues relating to Kilmacow, addressing the current development control problems in what is anticipated to be a fully serviced area. The revised development boundary has been established with this in mind and will attempt to channel residential development into the catchment area of the new sewerage scheme.

Increasing development pressures are expected in Kilmacow in the near future due to improved access times to Waterford via the new road network planned for the city. This will also provide free access to

the entire south east region for those wishing to live in Kilmacow. More importantly these factors will improve the attractiveness of the village for light industry. For Kilmacow to have a viable future it must be able to capitalise on its strengths by firstly retaining its rural rustic nature, by continuing to provide a viable community spirit for all current and future residents, by providing adequate choice of sustainable employment, and by channelling wealth generated outside the village into locally provided services and amenities.

9.0 The Plan

The following plan contains the Planning Authority's policies and objectives essential to the future orderly development of Kilmacow.

Kilkenny County Council recognises that Kilmacow retains a quality of life, a community ethos, a rural character and a village scale which are worthy of nurturing and protecting in any expansion of the village. It is the intention of the Council that the policies in this plan respect these characteristics and that all future development within Kilmacow will be progressed in a sustainable manner in partnership with the local community.

10.0 Infrastructure

Current infrastructural provision within Kilmacow is seriously deficient and unable to cater for development levels within the village. The main thrust of this plan seeks to rectify this situation.

10.1 Sewerage

Kilmacow currently has no public sewerage scheme. All buildings, private and commercial, are served by individual septic tanks. This situation may be acceptable in areas of low density development. It is unsatisfactory in Kilmacow where concentrated development has taken place over the last number of years. This problem is particularly acute in Dangan and Narrabaun where most of the development has occurred. A large amount of this housing took place before the mid 1980s, with site sizes being under half of an acre. The majority of these sites range from 0.2 to 0.4 acres and are below the minimum site size for the efficient percolation of treated domestic effluent. The Population figure within the Proposed Kilmacow development boundary i.e. the catchment area of the proposed sewerage scheme, is currently 710 people while a total population of 1099 occurs in the immediate area (*figures from July 1997 survey by Kilmacow Development Group*) These factors combined with the poor soakage in the area and the substandard nature and maintenance of many systems, combined with the aquifer vulnerability gives rise to public health concerns. To date no evidence of ground water contamination has become apparent. The question of the provision of this scheme has been ongoing since the mid 1980s. The scheme currently proposed is dated from 1993 and has been updated to cater for current population pressures, which is detailed in the policy section of this plan.

10.2 Policy

The Council is committed to the provision of a sewerage scheme for Kilmacow, which is envisaged promoting the efficient and economic servicing of residential areas. The implementation of this scheme is dependent on the availability of public finance.

The Council is currently seeking funding to implement its sanitary service objectives for Kilmacow.

The Council will encourage the economic use of the proposed sewerage scheme for Kilmacow.

10.3 Objectives

1. The Council proposes to sewer Kilmacow such that a natural outfall for as many existing dwellings as possible is created, while also creating the potential to service the maximum amount of undeveloped land.
2. The main trunk sewer will run between Dangan and the upper village, while individual spurs will link this to Narrabaun and the intervening lands. These will be linked to the lower village along the R697 where other spur sewers will connect this to the outer areas of the village. The entire network of sewers will be connected to the treatment works located in lower Kilmacow on the west bank of the river, upstream of the bridge.
3. Currently runoff from all existing development is channelled into septic tank systems. The new sewerage system will cater for this combined waste. In the case of new developments this situation will not be acceptable. All such developments will be piped with a system for foul waste and sewerage. A system for surface water will remain separate to allow maximum capacity utilisation of the treatment plant. It is the opinion of the Planning Authority that grey water systems should be installed in all new developments and that such conditions would be imposed on developments at their application stage.
4. The original total design population equivalent for the treatment works outlined in 1993 was 1228 persons by the year 2008 i.e. for a fifteen year period. This figure has been increased to approximately 2000, the desired population which can be accommodated inside the catchment area of the system. This area has been defined as the maximum geographical extent which can be economically served by the proposed system.

10.4 Water Supply

This is supplied by Kilkenny County Council from the Mooncoin Water Supply Scheme at the reservoir in Clunassy, Mullinavat. Local residents have been concerned as to the level of water extraction from the Blackwater, especially at times of low flows. Present capacity of the scheme is 1.1 million gallons per day, while current usage is in the region of 0.65 million. Generally the quality of this water is good however discoloration sometimes occurs.

The regional scheme has sufficient capacity to cater for the expansion of the village.

10.5 Public Lighting

The level of public lighting is sub standard. This deficiency is owing to a combination of insufficient number of lamps and the substandard quality of the existing ones. Between Narrabaun and the upper village only two lamps exist which is regarded as substandard.

Similarly on the Dangan road public lighting is substandard and haphazard and a concern to parents with children attending St. Sennans school. Here again too few lamps are provided and the safety of those using the road is compromised especially during the school year as this route carries a large amount of school generated traffic. A total of 9 lamps exist on this route many of them substandard.

All lighting within the upper village is substandard with many lamps requiring replacement. This situation is particularly acute at junction Lp3403-17, the main junction in the village. Here visibility is already poor due to the protruding wall of the church grounds.

Additional lighting improvement is needed between the upper village and the sports complex.

In the lower village the existing lamps are generally of good quality. Any reinstatement of the footpath connecting the upper and lower villages should be accompanied by adequate public lighting to allow safe passage for all those using the supermarket and sports centre.

10.6 Policy

The Council will seek to redress the substandard public lighting in Kilmacow, in particular the area between the upper village, Narrabaun and Dangan will receive prioritised attention. All remedial works shall be undertaken in conjunction with other road improvements and sewerage scheme provision.

10.7 Objectives

It is an objective of the Council to provide adequate public lighting throughout the village but in particular at the upper village at Narrabaun, Dangan in the vicinity of St. Senans school at the main junction in the upper village and between the upper village and the sports complex.

It is an objective of the Council provide adequate public lighting between the upper and lower sections of the village in association with the reinstatement of the footpath connecting the upper and lower villages.

10.8 Footpaths

The existing provision of footpaths in Kilmacow is substandard, it being incapable of catering for any future expansion in the area. Recent improvements in the upper village have improved safety, visibility and comfort for all users. Outside of this area with the exception of cul de sac housing developments, relatively few footpaths exist. Where they do they are in bad condition or badly sited on the wrong side of the road and so do not adhere to pedestrian desire lines. The footpath linking the village to the sports centre is substandard and under-utilised as it is situated on the wrong side of the road and pedestrians must cross outside the sports area or walk on the roadside. Urgent attention should also be given to the provision of a footpath between the upper village and Saint Sennans school. This path should be provided on the same side as the school in order to prevent pupils crossing the road outside the school. Traffic congestion is already a problem in this area and a dangerous bend occurs just north of the school set-down point. Here again an increase in population numbers will add to the current problems. While new facilities will also be required it is hoped that residential development in the area between Narrabaun and Dangan will allow pedestrian access from the Narrabaun area to the school thus relieving some pressure from the village-school route. Throughout the remainder of the upper village it is an objective of the Council to provide adequate footpaths in order to allow safe use of the roads for the present and proposed population. In the lower village a footpath is required and should run along the southern side of the street between the bridge and the R697 Waterford road. As mentioned in the previous section this should be continued to the upper village along the route of the old footpath, thereby allowing access to the filling station and supermarket. Further provision of footpaths should be made on sections of the Waterford road 697 and other routes 665 and 637. These will be necessary to service new housing developments.

10.9 Policy

The council recognises the necessity for additional provision of footpaths in Kilmacow. It also recognises that repair and upgrading of existing footpaths is also urgently required. This does include the reinstatement of the footpath between the upper and lower villages. Works in this regard will be undertaken in conjunction with the other infrastructural improvement works.

10.10 Objective

It is an objective of the Council to:

To make provision for a safe and adequate pedestrian network in the village through the upgrading of existing and the provision of new footpaths and pedestrian ways in the village.

10.11 Roads Network

The main roads into Kilmacow are primarily regional routes. Many sections of these roads are in need of repair. Ponding of water occurs in certain areas despite Kilkenny County Council having undertaken successful remedial works in Dangan.

Maintenance of hedges on the approach routes to the village is also another problem which must be addressed. In summer these seriously encroach onto the public roads causing a narrowing of the carriageway and conflict among road users. It has also been noted that there is a general shortage of road markings throughout Kilmacow. Finally there is a need to improve the junction Lp3403-17 due to the impaired visibility and the anticipated increase in usage when development occurs within the village.

10.12 Policy

The Council aims to improve the road network and other associated infrastructural requirements within Kilmacow. The implementation of these works such as road realignments, extension and improvement of footpaths and lighting and the further curtailment of local flooding, are dependant on the availability of public finance and will be carried out in conjunction with the laying of the proposed sewerage scheme.

10.13 Objectives

It is an objective of the Council

1. To carryout improvements to the road network around Kilmacow will improve access and safety throughout the village. Such works will include flood elevation, resurfacing, realignment and trimming of hedges. It is intended that such works will be carried out with minimal interference to traditional stone walls, mature hedges and other natural features.
2. To ensure that all new housing developments provide safe vehicular and pedestrian access to the existing public road network. Entrance treatments to any proposed developments will be such so as to prevent a deterioration in road safety or compromise the character the village.
3. It will also be necessary to provide adequate signage throughout the village and its hinterland, in order to improve safety and accessibility for locals and tourists alike. Adequate signage is currently lacking and the Planning Authority recognise the fact that proper speed limit signs and town entrance signs are required so as to give a defined boundary limit to the village as a whole.
4. To carry out a traffic management plan for the village in order to deal with the problems identified in this plan such as existing poor junction alignment, parking, pedestrian priority etc, thereby making Kilmacow a more attractive and safer village for all road users..

11.0 Dereliction

The problem of dereliction is particularly acute in the lower village as many key sites are all in disrepair. While some work has been undertaken in this area quite an amount still remains to be done. A total of 7 buildings are deemed to suffer from dereliction in the lower village. In particular one of

the most derelict sites is set out from the building line and forms the terminal vista for all those travelling into the lower village across the bridge. It is also quite prominent for those travelling in the other direction giving this site a very high visual prominence within Kilmacow village. General improvement has occurred on the left-hand side as one enters across the bridge with complete renovation of one two storey residence. The setback in the building line here provides a great opportunity for landscaping and improvements. This could be carried to the area adjacent to the Blackwater creating an attractive open-space for residents and tourists alike. As already stated this area could be highlighted to cater for niche tourist, arts and craft markets and workshops thus creating a new element to life in the village. Development of the river and bridge would also be essential to the success of this area.

11.1 Policy

The Council will encourage refurbishment and conversion of existing unfit, derelict and abandoned houses in order to improve the housing stock and safeguard the fabric of Kilmacow.

The Council will subject to the availability of staff prepare design briefs for such areas and where appropriate will acquire sites or enter into joint venture or other partnerships in order to secure their redevelopment to a high standard.

Where necessary the Council will acquire both by Compulsory Purchase Order and by use of the Derelict Sites Act any obsolete properties which in the opinion of the Council would continue to remain in an unfit condition.

11.2 Objectives

1. The Council recognises that eradication of dereliction is vital to the development and enhancement of the village. The ownership of these derelict premises has been identified. The County Council will endeavour to offer assistance to these owners who wish to develop their properties in keeping with policies set out in the current development plan. Where necessary the Council will issue compulsory purchase orders in respect of sites which are deemed to remain in an unfit condition.
2. In the case of buildings which are deemed to be beyond repair and where demolition is necessary, no change in building lines will be allowed. New infill building structures dimensions will be required to maintain established building and roof lines and proportions. As dereliction is particularly acute in the lower village the council will endeavour to prioritise any remedial measures in this area.
3. The extent of dereliction in the lower village is acute and improvement is essential to the prosperity of the area. Full rehabilitation and refurbishment will be sought for all derelict sites to ensure the retention of the traditional village character. Where replacement dwellings are proposed original building lines will be maintained. It is essential that all derelict sites be improved, not in isolation from their surroundings, but as part of an overall anti-dereliction programme.

12.0 Private Sector Housing

12.1 Policy

Throughout the county it is the policy of Kilkenny County Council to channel residential development, where possible, into adequately serviced areas. To date this has not been possible in the case of Kilmacow, with the sewerage scheme in place developments will be encouraged to locate within the defined development boundary of Kilmacow. Major infrastructural investment is viewed as a catalyst for orderly growth of any settlement area and when in place it is economic sense to utilise such investments.

Future developments within Kilmacow must meet the County Development plan requirements of development control standards and design considerations in order to further the proper planning and development of the village.

12.2 Housing Strategy

Part V of the Planning and Development Act 2000 (the Act) requires that housing strategies be drawn up by planning authorities and integrated into their development plans. The strategy is to have regard to the proper planning and sustainable development of an area and will be concerned with the overall supply of housing within the administrative area of the Local Authority.

1. It is an objective of the Council to implement the housing strategy contained in appendix A of the County Development Plan Vol. 1.
2. The Council will require that 18.7% of the land zoned for residential use or for a mixture of residential and other uses be made available for the provision of social and affordable housing.

13.0 Housing design Guidelines

13.1 Housing Location

13.2 Objectives

1. Owing to the large local community input in the plan and the strong belief of the Council that both upper and lower villages should remain separate, the majority of new developments will be channelled into the area north of the upper village between Dangan and Narrabaun, and areas with direct access onto the intervening routes situated inside the development boundary.
2. Within the lower village less land will be available for development and the majority of this land is highly sensitive to development and should be treated in a sensitive manner by developers.

13.3 Housing Layouts

13.4 Objectives

Housing layouts themselves should be of a spur type involving simple cul de sac developments serving a small number of houses. The number of houses depending on the site layout. Where possible site layout will align topographic features and retain trees, streams and hedgerows as natural features within the developments. This will be of particular importance to the lower village as this area contains a large number of distinctive natural features.

13.5 New Housing

13.6 Housing Design

13.7 Objectives

The Council will encourage a variety of house designs in all housing development proposals. Individual house designs should reflect the rural character of the village with the use of two storey

housing on the periphery of the village. In general all housing development will be in line with County Council policies as outlined in the County Development Plan.

13.8 Housing Densities

13.9 Objectives

In general in the County Development Plan there is no maximum nor minimum density set for residential areas with the emphasis on providing a quality housing environment based on innovation and a design led approach.

For Kilmacow it is an objective of the Council that housing provided would be such as to provide a quality housing environment based on innovation and a design led approach

Given the nature of how the village has developed in the past and in order to ensure that new developments will reflect the general ambience of the area a density of 5 houses per acre is being set for green field sites within the development boundary. Within the core urban area of the upper and lower settlements each case will be considered on its merits and the maximum density of 5 per acre will not apply.

In greenfield sites outside of the urban core of the village open space provision will be required in accordance with County Development Plan standards set out in Vol.1 section 10.7.4 (2.4 ha per 1,000 population or 1 ha per 150 dwellings whichever is the greater.)

Proper landscaping of all open space will occur and the provision of pedestrian and cycle access will be a priority in the areas adjacent to both primary schools.

13.10 Infill Housing Alterations and Extensions:

13.11 Policy

Where alterations or additions to buildings are proposed they must evoke the style or period from which the prevailing character of Kilmacow comes from. Windows must be replaced with care, new windows having regard to the type of dwelling and not the style of windows currently in vogue. Windows must be proportional to the scale of the building and of similar design to the old windows. This is of particular importance in rows of dwellings where the harmony of an entire row can be destroyed by changes in fenestration. It is recommended that windows have a strong vertical emphasis. Where roof repair is necessary it is recommended that tiles should be similar in colour and texture to the older ones. Roof pitches should be in accordance with those prevailing in the area having a pitch of 40 to 50 degrees.

Extensions to existing structures must be a positive contribution to the urban quality of the village. Such developments cannot occur in a haphazard manner. Extensions must look like part of an existing building and not like an unrelated appendage. Flat roofs are not recommended. Where pitches and lean to roofs predominate they are the proposed alternatives. The following diagram shows the type of extensions which would destroy the symmetry of a building. (See Diagram 1)

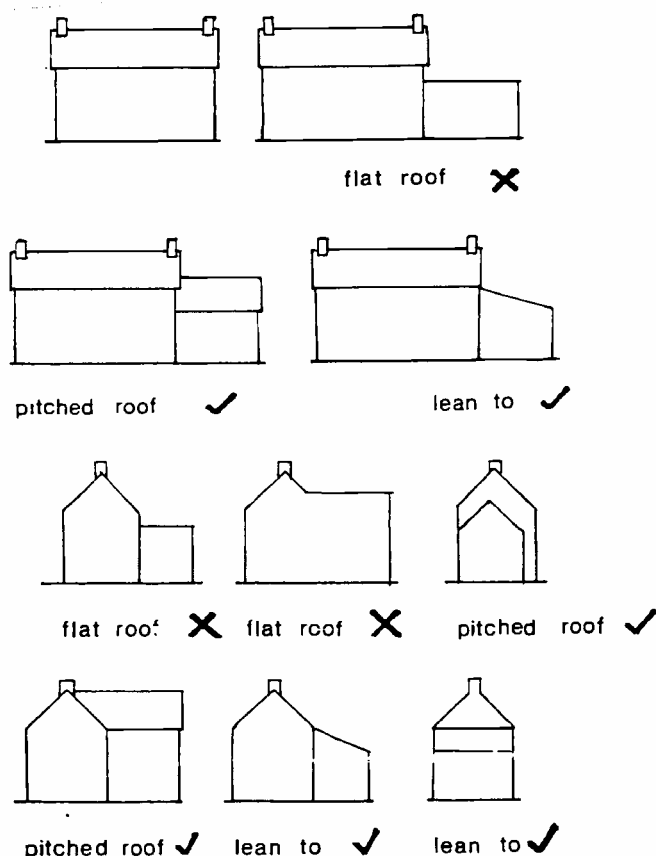


Diagram 1

Infill developments within the village should complement the surrounding structures. Existing houses should be studied and their basic proportions interpreted in modern design. Fenestration must be in accordance with neighbouring buildings, large areas of glass are particularly out of character. Windows with a strong vertical emphasis are the tradition in Ireland. Use of vernacular building materials is to be encouraged. Existing building lines should be maintained where possible as well as retaining common building heights and scales. The fascia of new buildings adjoining older ones must be broadly similar in terms of wall area and window area whether of vertical or horizontal emphasis. Architectural detail on existing buildings should be picked up in new developments helping to marry new structures into their surroundings. Such details include eaves design or chimney form and size. Hips should only be used on free standing houses as they make it difficult to integrate housing onto the street scene.

14.0 Environment

14.1 Policy

The Council will continue to advise and support aesthetic improvement works throughout the village. Planning Authority staff will continue to liaise with the local development group or any other interested parties concerning any newly suggested environmental improvement works.

14.2 Objectives

The Council will continue to assist with landscaping schemes through funding, advice, and arranging contacts with other sources of funding and advice. In particular areas such as the Pond, Shamrock and Graveyard, rampant dereliction will be addressed.

15.0 Community Facilities

Current community facilities are generally well provided for in the village. It is essential that this level of provision be extended to all new residents. At present there are good school, recreational and elderly facilities, which cater well for the existing population.

In order to cater properly for existing and future school numbers current facilities must be upgraded to allow sufficient internal floor space for recreational and assembly purposes. It is also necessary to provide for expansion of grounds in order to achieve an acceptable amount of active recreational land for school children. In the case of Saint Sennans primary school it will be necessary, in the interest of safety, to improve the quality of bus and private parking and access. It is hoped that improvements in road safety throughout the village will encourage increased pedestrian and bicycle use.

The provision of leisure facilities in Kilmacow is currently of a high standard and this is in large measure due to the tremendous local effort in the community. The extent of commitment to community organisation in Kilmacow is impressive and gives the village a considerable capacity for self generated development.

It is essential that the adequacy of these facilities be monitored as the village expands and that provision is made for the expansion of leisure facilities as the need arises.

There is space for further expansion within “The Farm” area. It is hoped that these facilities will continue to be improved by the local community and the County Council will endeavour to assist where possible.

15.1 Objectives

It is an objective of the Council

1. To preserve, provide for and improve recreational facilities within the village.
2. To assist and co operate with the Kilmacow development Group and other local voluntary bodies in improving amenities in the village.
3. To ensure that adequate and appropriate recreational facilities are available to different age groups and different sections of the community.
4. To facilitate the provision and expansion of primary school facilities in the village.
5. To prepare a recreation plan to maximise the benefits of the River Blackwater to the local community in conjunction with the Kilmacow Development Group and the Southern Regional Fisheries Board.

16.0 Employment/Industry

Local employment opportunities are essential to the future of Kilmacow. As the village develops employment opportunities will arise in the provision of services locally.

The Council will endeavour to assist with the location of clean light industry within Kilmacow and its wider hinterland.

17.0 General Phasing

It must be stressed that all the above improvements are subject to the installation of the sewerage scheme. In light of this fact it will be difficult to provide funding for improvement of community facilities and the village in general before the sewerage infrastructure is in place. Planned works for Kilmacow cannot be undertaken until financial support has been sanctioned by the Department of Local Government and the Environment. In effect this will put all major improvement works on hold for the present. In the intervening period it will be necessary to ensure that valuable development land does not become sterilised and the County Council will enforce existing policies to this end.

Once the sewerage network is in place general improvements in the standard of road surfaces, footpaths and public lighting can occur. These works will be given preference in the upper village as it is in this area that the greater proportion of residential developments will be encouraged. It is important to the overall standard of development that separate areas are designed and completed as part of an overall layout which could allow a combining of open space and pedestrian routes.

The Planning Authority visualises that the upper village, Narrabaun and Dangan shall be developed first. This area is the most central to all existing services and has the greatest potential to be developed as a “neighbourhood”, allowing a high level of interaction between residents. The overall site itself can provide the greatest potential for diversity in layout, densities and open-space, and therefore could attract a greater cross-section of home buyers into Kilmacow. It will also allow access from both roads in the upper village while pedestrian and cycle access within the village would be greatly improved with the completion of development in the area. This factor would allow improved access for the existing residents of the village, particularly those in Narrabaun to the schools, thereby increasing overall road safety throughout the village. In short development of this area would provide the greatest level of return to the existing population.

18.0 Zoning Objectives

Zoning will apply within the proposed development boundary. An overriding objective of the Plan is to safeguard residential amenity and prevent unplanned ribbon development. Upper Kilmacow is envisaged as facilitating the greater majority of all development, it being the core of the village itself. Further strengthening of a diversity of uses in this area is to be encouraged. The village “street” should comprise retail, commercial, community and other service facilities. Outside this area such development should be limited, particularly in the case of retail outlets. An indicative zoning plan accompanies this plan.

In the following paragraphs:

- “Permitted use” means a use, which is acceptable in the relevant zone. However, it is still the subject of the normal planning process.
- “Open for consideration” means a use which may be permitted where the Council is satisfied that the individual proposal or development will be compatible with the policies and objectives for the zone, and will not conflict with the permitted uses and also conforms with the proper planning and development of the area.

18.1 Rural Conservation Area

Objective: To provide for the development of agriculture and to protect the rural character of the area.

Permitted Use:

Agriculture and related developments, outdoor recreation, rural housing in accordance with the provisions set out for rural housing in chapter 7 Vol 1 of the County Development Plan.

Open for Consideration:

Public Open Space, guesthouse, restaurant, Nursing home, dwelling houses in certain limited cases as outlined in section 10.26, halting site, private open space, other uses not contrary to the proper planning and development of the area.

18.2 Residential

Objective: To protect, provide and improve residential amenities.

Permitted Use:

Dwellings, open spaces, places of worship, community centres, halting sites, public service installation, playgroup or crèche, Nursing home

Open for Consideration:

Bed and breakfast establishments and guesthouses, lock up garages, retail shop of local convenience not more than 100m sq in gross area, public house, hotel, restaurant.

Use by owner or occupier of part of a private residence as a studio, for a light industrial activity, a clinic or surgery, professional office, or as a playgroup or creche.

18.3 General Development

Objective: To provide for general development.

Permitted Use:

Dwellings, shops, wholesale outlets, offices, public buildings or places of assembly, cultural or educational buildings, recreational buildings, halting sites, hotels, motels, guest houses, clubs, private garages, open spaces, public service installations, medical and related consultants, restaurants, public houses, car parks, halls or discotheques, and other uses as permitted and open for consideration in residential zoning.

Open for Consideration:

Open space, workshop or light industry.

18.4 Industry

Objective: To provide for industrial and related uses.

Permitted Use:

Industrial premises and ancillary offices, open spaces, warehouses, car and heavy vehicle parks,

Open for Consideration

Petrol filling stations, service stations, car showrooms, advertisement structures, wholesale premises, public service installations play school/creche.

18.5 Open Space/Recreation

Objective: To preserve, provide and improve recreational open space.

Permitted Use:

Open space, sports clubs, recreational buildings, stands, pavilions, agricultural uses, public service installations.

18.6 Community Facilities

Objective: To protect, provide and improve community facilities.

Permitted Use:

Educational, religious and cultural facilities, public buildings, playschools/creches, schools, churches, hospitals, convents, community centres and halls, school playing fields, colleges, orphanages, hostels, halting sites, cemeteries, libraries and medical centres, nursing homes.

Open for Consideration:

Public service installations

Applications will be considered case by case and assessment is based on the general development criteria set out in the County Development Plan. No extension of the area will be permitted.

Considered uses shall be confined to the following categories: Residential, Open Space, Retail, Community facilities and Light Industrial.

19.0 Conservation

By preserving characteristic features of the County, we seek to maintain and nurture our cultural heritage as part of our identity. The intrinsic value of the Kilmacow townscape, the areas of nature conservation and the sites, monuments, and structures of historic, architectural, artistic or technical interest is a major resource for the development of tourism and economic development while contributing to the quality of life. The sustainable management of this heritage is a key priority. The Council will seek a balance of accessibility and tourism development along with the conservation and preservation of the protected structures and heritage items generally and their settings.

Kilmacow has a rich heritage and through the policies and objectives in Chapter 9 of Vol. 1 of the Development Plan the Council will seek to maintain and preserve that heritage.

It is the policy of the Council to use its powers and available resources to protect the architectural archaeological, historic and artistic heritage of Graiguenamanagh both for its cultural and tourism value in accordance with the policies set out in Chapter 9 of Vol. 1 of the County Development Plan.

19.1 Urban Conservation Area

In addition to the zoning objectives outlined above an urban conservation area has been defined for the village and is shown on the zoning objectives map.

In considering proposals for development within the urban conservation area of the village it will be the policy of the Council to have regard -

1. To the compatibility of the design and layout of the proposal with the existing village fabric
2. To the impact of the proposed development on the existing amenities and character of the area, particularly with regard to the scale of building form, materials etc.

The following are the objectives of the Council:

It is an objective of the Council to seek the preservation/conservation of the following structures:

Protected Structures

Dangan	Grain Mill	Three-storey mill on Black Water with traces of great spurwheel gearing
Greenville	Grain Mill	Five-storey flour mill on left bank of Black Water near Kilmacow. Francis turbine survives along with traces of machinery. Impressive cast-iron aquaduct dated 1885 (by R. Graham of Waterford) conveys headwater to mill (the wheelpit now houses a modern electricity-generating turbine, 371:2).
Kilmacow	Kilmacow Bridge	Carrying a minor road over the Black Water the bridge comprises 6 equi-sized gothic arches (5 of which are in normal use); a millrace is also accommodated on its western approach.
Greenville	Grain mill	Four storey mill with adjoining mill house, on left bank of Black Water below Kilmacow. Undershot waterwheel, great spurwheel gearing and millstones survive.
Dangan	Dangan Bridge	Six equi-sized semi-circular spans, with angled cutwaters, carry a minor road over Black Water north of Kilmacow.
Catholic Church		early C19th - totally modernised but with elaborate late C19th gates
Three-bay, two-storey house		West side

Appendix

New Housing Design Policy

In new developments it is recommended that housing densities should not exceed eight houses per hectare in Kilmacow.

The visual and physical characteristics of new developments in relationship to their townscape and landscape context should be considered. This includes

1. Views into and out of the site
2. Landmarks in the surrounding areas should be respected by new schemes.
3. Existing movement and desire lines across and around the site.
4. Existing buildings on and adjacent to the site and whether they should be retained.

New development should be a good neighbour to existing properties. Sides and rears of buildings should not become a frontage to a new road. In order to avoid domination by fences major roads and countryside edges should be fronted by houses.

Housing should be laid out in such a way as to maximise proximity to facilities and public transport. No residential area should be more than 600 metres from a primary school.

Development should be built around landscape structures such as vegetation or built features to achieve uniqueness of character in the development.

A legible network of paths should be designed based where appropriate on existing trees and hedgerows. The street layout should be legible structured by a distribution of distinctive spaces and places so that it can be 'read' and thus it is easy to find ones way around. See Kevin Lynch's "Image of the City", London Press 1960.

The layout may in part be suggested by the topography, natural desire lines and accesses to the site.

Cul de sacs preserve amenity and quiet but they also hinder pedestrian traffic and make dead areas which are vulnerable to crime. Therefore the design layout of housing areas consisting of Cul de Sac ends requires careful planning.

A large residential area should have variation in character between different parts to give the development a sense of place.

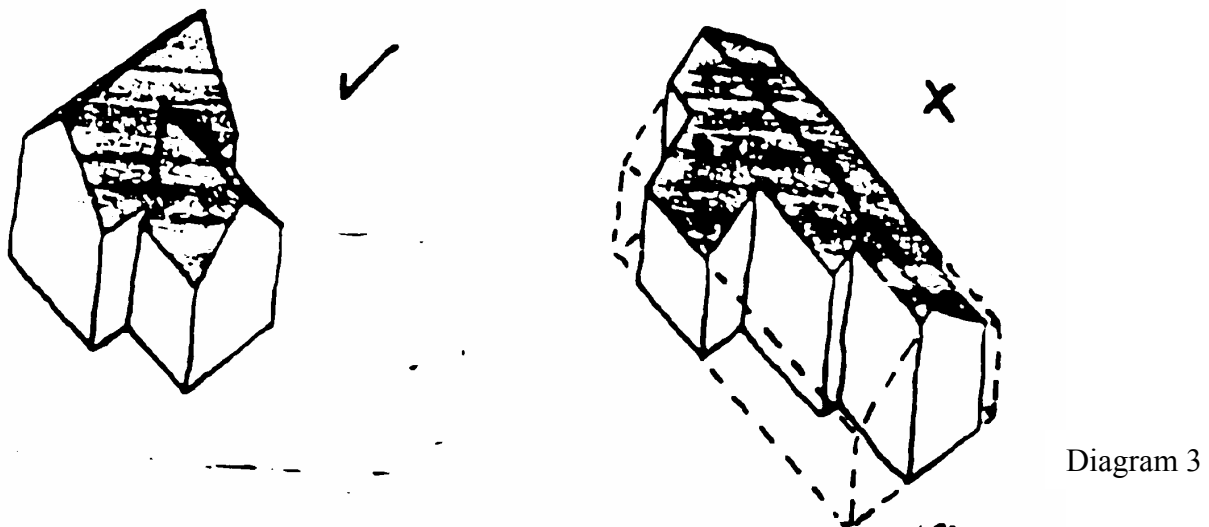
The development should have a clear and well defined external image. This includes a clear urban edge, clear and well defined entrances and a skyline which uses trees and tall buildings to structure the external view.

The design should create the illusion of a rural environment in a residential area. This cannot be achieved at densities over eight houses per hectare. The visitor should be more aware of the landscaping than of the houses. The lay out should be devised so as to allow houses to appear as surprise features among the vegetation. This requires a dominant landscape that has a significant density of mature hedgerows and trees. Where vegetation is scarce it must be rapidly established but this vegetation must be of a variety which is not alien to the locality. Front gardens should be dominated by hedgerows to allow the landscape to dominate housing.

The traditional buildings of Ireland are made up of rectangular plans with pitched roofs spanning the narrower plan dimension. In all elements the roof should be pitched over the shorter dimension at 50 degrees. Such spans are rarely greater than 6.5 metres. In buildings with bigger spans the traditional solution is to use parallel roof spans (See Diagram 2).



Buildings of more complexity should be composed of an assemblage of rectangular forms for example L plans or T plans. Building should be composed of a family of forms i.e. with roofs of similar pitch consisting of a principle element to which subsidiary elements are attached. Complex plans should not be enclosed in an enveloping volume out of which pieces are cut to create subtractive forms. (See Diagram 3)



There should be a symmetrical pattern of openings arranged around the central axis, preferable the front door. This is crucial where the front elevation consists of a single gable. (See Diagram 4)

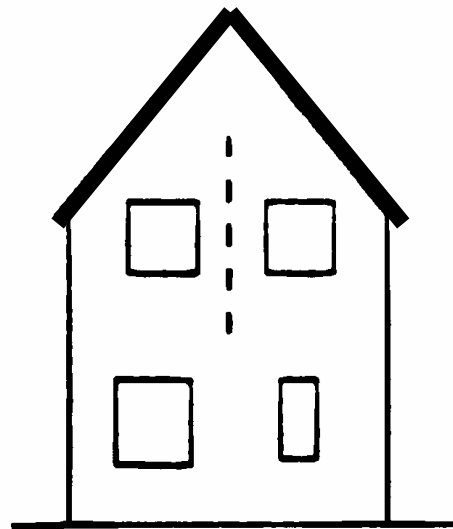


Diagram 4

Unevenly subdivided windows can disrupt the balance of a building. Windows should be symmetrical along the horizontal and vertical axis. (See Diagram 5)

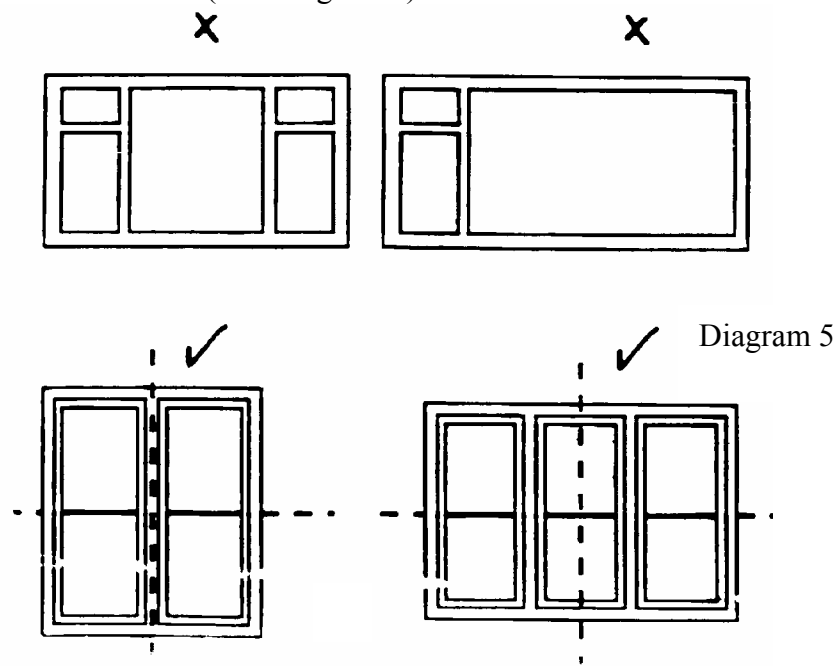


Diagram 5

Deep plans should be avoided as it means back gardens must be inordinately long to provide the minimum required open area. Deep plans also present problems of over looking as they have aspects in all directions.

Dormer Windows

Dormer windows should only be a minor incident in the roof plane. Their purpose should be to light the roof space not to gain extra headroom over any great width. Rooflights should be used sparingly and should appear on rear elevations only and not in conjunction with dormer windows.

Gable Ends

The gable end in Ireland traditionally has a single centrally placed window which reinforces the axis of the gable end and this practice should be followed in new building.

Traditional buildings normally have only one room in the gable end with a single centrally placed window. Where a second room is unavoidable the window of the larger room should be centrally placed on the gable axis and that of the smaller room relocated onto the flank elevation. (See Diagram 6A)

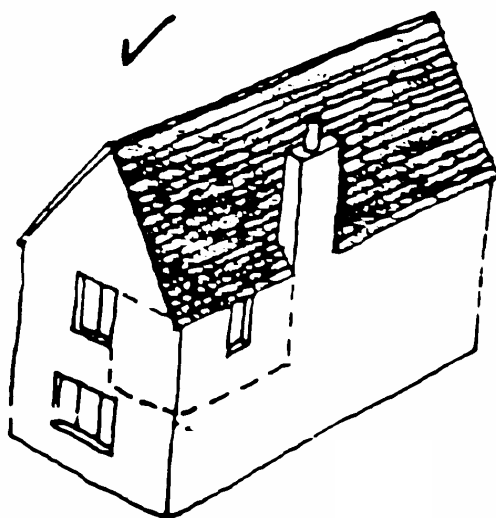


Diagram 6A

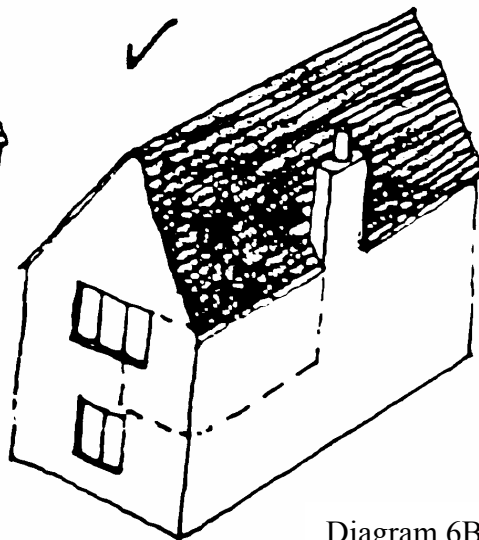


Diagram 6B

Alternatively a wider mullioned gable window may be used with the partition of the second room butting up against the mullion. (See Diagram 6B)

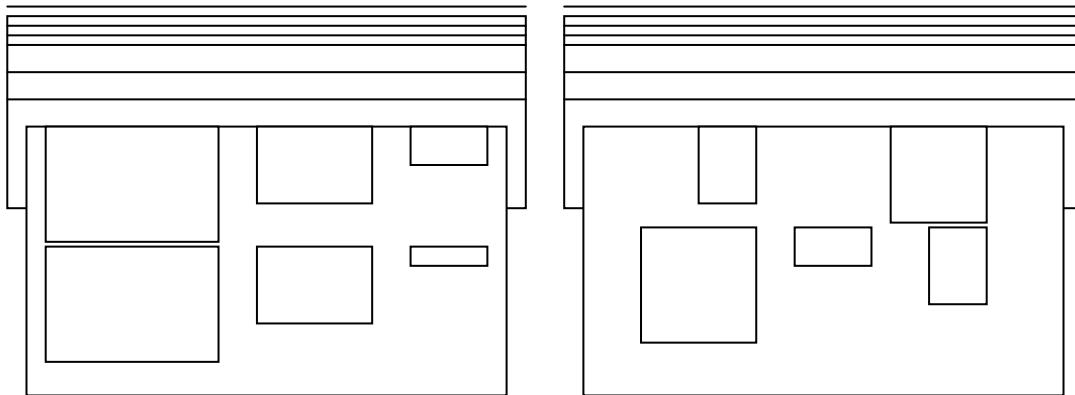
Departures from strict symmetry are possible as long as the central axis is still strongly emphasised. The worst designs are those which are not quite symmetrical. In the case of a wider frontage elevation the need for centralisation is less great and asymmetrical arrangements can look attractive. In such cases the front door is the most important element and should form the basis of the pattern.

Windows

All windows and doors should be made of painted timber or p.v.c. Large unsubdivided panels of glass should not be used as they distort the visual scale of buildings. A regular subdivision of windows helps unify a building. A variation of subdivision can highlight particular parts of the elevation eg the central axis of a gable.

Large patio doors can create the effect of a void. To counter this large patio doors should be centrally located or located on an elevation not shared with another window.

There is a tendency to use a specialised window for the purpose it serves for example a small high level window for a toilet, regardless of the pattern of openings this may produce. This must be avoided as it can produce unbalancing effects such as false perspective. (See diagram 7A)



variety of windows can produce false perspective

Composed Randomness

‘Composed randomness may be used for a rear elevation. (See Diagram 7B)

Garages

A large garage door can compromise the relationship of the dwelling to the street. If the house is narrow fronted the effect is even more dominant. A solution to this is to locate the garage in the back garden with an access through an arch under the building. A well designed timber door may also be acceptable.

The prominent positioning of garage doors at the end of a cul de sac road junction or bend in the road constitutes a visual down grading of the landscape. The solution is to be more flexible in the positioning of garages so that they can be turned in various directions or combined to form larger structures.

Modelling

Parapetted gables and eaves are deemed satisfactory for roofing. The form of the building may be emphasised by string courses, plinths and projections at the eaves.(See Diagram 8)

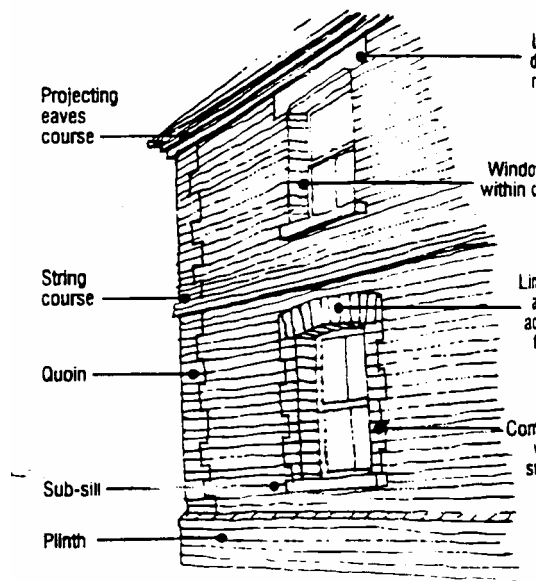


Diagram 8

Chimney stacks help punctuate rooflines. For the purposes of fuel choice houses should be provided with class one flues and chimneys. They should be positioned on the ridge line of the roof either centrally on a gable end or against an outside wall. On flank gable ends chimney stacks should either be flush with the wall or else project sufficiently that the stack has the visual strength to appear capable of standing on its own.

Porches

Porches should project from the building by at least as much as they span (See Diagram 9A). Open porches are preferable to enclosed ones. (See diagram 9B)

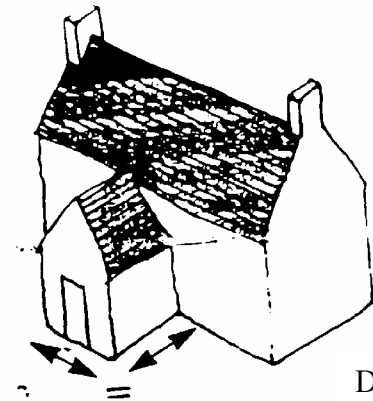


Diagram 9A

Lean-to enclosed porch
with side entry

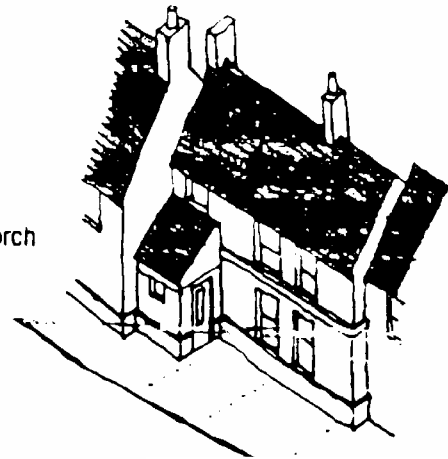


Diagram 9B

Over use of skin deep details should be avoided. Balconies must be fully accessible. Bay windows must be substantial, preferably storey high elements. Vent pipe outlets in roofs should either be grouped and incorporated in chimney features or located on rear slopes. Soil and waste plumbing should be run internally and not appear on the outside of buildings. Meter cupboards and service intakes should either be located out of sight on flank elevations, in ground level chambers, or

accommodated in purpose made joinery that fits in with the pattern of doors and windows on the elevation.

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New Ross

1.0 Introduction

This Plan for the environs of New Ross within County Kilkenny has been prepared with the aim of promoting planned and orderly development, coordinated with development taking place in the neighbouring New Ross Town, which lies in County Wexford. The Planning Authority will cooperate with New Ross Urban District Council and Wexford County Council and hopes to foster cooperation with local interests in the planning and development of the area.

2.0 Location and Topography

New Ross is strategically situated just south of the confluence of the Rivers Barrow and Nore, at an important communications point at the only road river crossing point (O'Hanrahan Bridge) between the confluence and the sea. The town therefore acts as a gateway to Kilkenny, Carlow and Waterford Counties and to the Midlands and West of Ireland from Rosslare Port. It is 23 miles (37km) from Wexford Town and 15 miles (24 km) from Waterford City.

New Ross is an important transport node, the two main routes passing through the town being the N25 coastal route from Rosslare to Cork via Waterford (part of the Trans European Network) and from Waterford via Enniscorthy to Dublin and from Waterford via Kilkenny to the Midlands and West of Ireland.

The town is located below a gorge on the Wexford side of the River Barrow. The lands of Rosbercon in the Western environs rise from the River Barrow and from the Waterford Road to the south. The area to the south and east of the Waterford Road (Lower Raheen) is low lying and flat.

Most industrial development within the Kilkenny Environs of New Ross has taken place in this area, with some residential development mainly on the slopes to the north overlooking the town.

The Development Boundary of the New Ross Environs in Kilkenny takes account of topography, drainage, existing development and estimated future needs.

3.0 Historical Development

New Ross Port has been an international port from the time of its Norman foundation, at a location served by an extensively navigable river system connecting with the Barrow and Nore river valleys. Traditional sources of employment are port or port-related industry and agriculture and agricultural related activities. The town acts as the main market centre for an extensive agricultural hinterland.

The settlement of Rosbercon preceded the establishment of the walled Norman town of New Ross on the east bank in the 12th Century. The residential core from that time has been mainly on the east bank in Wexford within the functional area of New Ross Urban District Council.

4.0 Urban Structure

The Development Boundary of the Plan area has been designated with the aim of ensuring compact, orderly in-depth development of lands on the periphery of New Ross. The area is bounded to the south east by the boundary of the New Ross U.D.C. The remainder of the boundary has been designated having regard to topography and drainage, to existing development and to projected needs for future development.

The visual character of the area sharply contrasts between industrial and residential/agricultural areas. The extensive portal and industrial sections are in many cases poorly screened and have no on-site landscaping. Many of the structures, some of which are very large, are in poor condition. The residential areas are rural in character, having in some parts good views over the Barrow and New Ross Town.

The principal issues relating to the urban structure of New Ross Environs are the need for proper screening and segregation between industrial and residential/agricultural areas, the need for well planned in-depth housing layouts for the residential area on completion of servicing and the need for a well-landscaped and attractive roadside environment adjacent to the N25 National Primary Route. Residential development is mainly in the form of linear development along the four radial routes leading west from the Bridge. The need to ensure that radial routes from towns are not subject to the elongation of the existing linear development will continue to be a consideration in assessing development proposals.

Many of the existing industrial and port uses in the New Ross environs are going through periods of transition and rationalisation. As this process takes place lands which have in the past been intensively used for industrial and port related uses may come forward for redevelopment. Should this be the case then the planning authority will, with the co operation of the land owners, the New Ross UDC and Wexford County Council as appropriate, make an action area plan for the regeneration of the identified areas.

4.1 Urban Structures Objectives

1. To require the creation of buffer zones with in-depth tree and shrub planting where new industrial development abuts agricultural or residential lands.
2. To make an Action Area Plan for those areas which are zoned as residential within the Development Boundary.
3. To protect skyline trees and to restrict development which breaks the skyline when viewed from the east bank of the River Barrow.
4. To control housing development so as to ensure that well-planned in-depth development is not prevented through linear development of road frontages.
5. To make an Action area plan for the existing industrial and port areas in conjunction with the land owners, local residents New Ross UDC and Wexford County Council as the need arises.

5.0 Population

Whilst the Environs area has been inhabited for many hundreds of years, the bulk of the population of New Ross is located on the east bank of the Barrow in County Wexford.

The residential population of the Plan area is very small, but nevertheless appears to follow national and county trends in most respects. The most reliable sources of information on population in the Plan area are the 1991 and 1996 Census of Population undertaken by the Central Statistics Office. The development area approximately corresponds to the Census definition of the New Ross Environs in County Kilkenny. There has been a slight decrease in population from 149 persons in 1991 to 140 persons in 1996.

5.1 Population Objective

To facilitate the continued growth of the environs as a residential area, through the provision of services and amenities and by planning for the future in-depth residential development of lands.

6.0 Employment and Industrial Development

The Environs area contains a number of businesses, which draw in their work force from a wider area. The main industries and commercial premises are located adjacent to the port either on the Waterford Road (N25) or in the Raheen Industrial Estate. Much of the industrial development in the area is port related.

New Ross Port is situated on the River Barrow, 20 miles from the sea and 5 miles downstream of the confluence of the Barrow and the Suir Rivers. New Ross Port has become a focus for port-related industry and commerce, with extensive industrial areas on both right and left banks of the river. New Ross Port consists of facilities operated by the New Ross Harbour Commissioners on the eastern side in Co. Wexford, with private facilities on the western side.

New Ross Port Company has made significant improvements to New Ross Port in the past year. Due to drainage of the river Barrow, ships with an upper limit of circa 7m drafts are now catered for and cargo of 6,000 tonnes will be catered for incrementally within 12 to 18 months time. Nineteen acres of land have been reclaimed on the County Kilkenny side in Ballyvarneen (outside New Ross Environs Plan area). New Ross Port Company's immediate plans for the future include development of port related facilities at Marshmeadow in Co. Wexford or alternatively on the reclaimed land.

The existing industrial lands at Raheen/Rosbercon are underused and require environmental improvements.

6.1 Employment Objectives

1. To encourage the improvement and development of the town's port facilities.
2. To promote designated industrial areas and related commercial and industrial activities.
3. To encourage environmental improvements to existing industrial areas and to require a high standard of new industrial development and landscaping/tree planting.

7.0 Recreation, Tourism and Amenity

New Ross has considerable potential as a tourist attraction due to its location in the picturesque Barrow Valley with its river walks, vantage points and water based activities and also due to its strategic location on the Euro-route to and from Rosslare Harbour.

The setting of New Ross on hillsides overlooking the Barrow Valley has provided excellent natural amenities for both active and passive recreation. The area is well wooded and its good views across the Barrow from New Ross are important to the visual amenity of the town. Trees on the skyline within Co. Kilkenny have a visual importance in spite of their relatively small number.

7.1 Amenity Objectives

1. To liaise with Wexford County Council, New Ross U.D.C. and Chamber of Commerce to encourage the development of New Ross as a touring base for the Barrow/Nore River Valley Region.
2. To protect the amenity value of the River Barrow by requiring a high standard of landscaping of new development and by protecting existing amenity areas in particular at the riverbanks.
3. To promote the provision of fish stands, car parking, camping, cruising facilities in appropriate locations.
4. To protect existing recreational lands and to investigate needs for future provision of recreational lands as part of an Action Area Plan.
5. To continue to improve suitable landscaping and amenity facilities to improve the entrance to the town.
6. To carry out amenity improvements

8.0 Housing

Continuing unplanned ribbon development of road frontages threatens the long term in-depth development of lands for which services are planned and will therefore be restricted in order to ensure that the overall development of the area is not compromised.

There is currently no further sewage capacity to cater for further housing development in the area. Public water supplies are also limited. Development has thus been restricted to a small number of individual houses serviced by private wells and septic tanks. However, with the proposed augmentation scheme and the completion of the New Ross Main Drainage Scheme, services will be available in the future to provide for larger developments. However until then, residential development is therefore likely to continue to take place mainly as infill within New Ross town or within its environs in Wexford. (See sanitary services section below for further details)

Whether for single houses or for clustered development/multiple development, the Planning Authority must be satisfied that satisfactory sewage disposal arrangements are to be put in place to service the needs of the development and to prevent pollution. Such houses will be required to be connected to mains sewerage when this is installed.

The Council has purchased a parcel of land (circa 2 hectares) in Millbanks through compulsory purchase in order to provide for social housing.

8.1 Housing Objectives

Part V of the Planning and Development Act 2000 (the Act) requires that housing strategies be drawn up by planning authorities and integrated into their development plans. The strategy is to have regard to the proper planning and sustainable development of an area and will be concerned with the overall supply of housing within the administrative area of the Local Authority.

1. To prepare an Action Area Plan for the residential areas in order to ensure orderly and economic use of lands for which sanitary services are planned. The Action Plan will include assessment of needs for neighbourhood shopping and other community facilities.
2. Ensure that residential developments are suitably located and that they provide a satisfactory, safe and visually pleasing environment for residents and the community in general.
3. It is an objective of the Council to implement the housing strategy contained in appendix A of the County Development Plan.
4. The Council will require that 18.7% of the land zoned for residential use or for a mixture of residential and other uses be made available for the provision of social and affordable housing.

9.0 Sanitary Services

9.1 Sewerage

The lack of sanitary services has so far precluded any substantial residential development of the area.

Residential development in the environs is serviced by septic tanks and soakpits. The closeness of the rock to the surface in the residential area places limitations on the potential for such development.

The New Ross Main Drainage Scheme is well advanced in Co. Wexford. Completion of the scheme is expected circa 2004. This scheme includes a new treatment works at Marshmeadows and a quay interceptor sewer. This work will form the major element of the scheme and provides for the collection and secondary treatment of all sewage effluent of all sewage effluent at Marshmeadows prior to discharge to the river Barrow downstream of the town. These will be owned and operated by New Ross Urban District Council but the Kilkenny parts of the New Ross environs will be able to connect into these services.

9.2 Water Supply

Currently the New Ross Water Supply derives its raw water from the upland catchment at Poulmonty and Dranagh, Co. Carlow. The proposed augmentation scheme provides for the development of the Camross/Adamstown aquifer in Co. Wexford to cater for the West Central Regional Water Supply Scheme, which includes New Ross and environs.

The existing water requirements of the Rosbercon area are presently served from two sources:

1. The main water distribution network of the town of New Ross via extensions to this network across the Barrow Bridge.
2. Private wells within the area itself.

The system in Kilkenny is adequate only to service the area below the 40-45 O.D. contour line.

9.3 Sanitary Services Objectives

1. To liaise with New Ross U.D.C. and Wexford County Council to commence the servicing of the development area with foul and storm water sewers.
2. To liaise with New Ross U.D.C. and Wexford County Council to extend water supplies as necessary throughout the development area.
3. To require all industrial discharges to be reduced to domestic standards before discharge into any future public pipe network.
4. To seek to ensure that a good quality of environment, including water quality, is maintained.

10.0 Road and Transport Structure

The principal road running through the area is the National Primary Route (N25) from New Ross to Waterford, which is part of the strategic coastal route linking Rosslare with Limerick and Cork and is a part of the designated Trans European Network (TENS). This road is also becoming commonly used as a route from Waterford to Dublin via Enniscorthy. The other connector is the regional road, R704, between Mullinavat and New Ross. The third route is County Road 681 from Thomastown to Mullinavat.

The river is also an important element of the transport structure. Its strategic location facilitates an expensive navigable river system connecting the Barrow and Nore River Valleys. New Ross port, situated 32 km inland on the river Barrow, is recognized as one of the country's major ports and is well located for the transportation of goods relative to Dublin, Cork and Limerick. A rail spur runs from Waterford to Raheen.

The entrances to the town vary greatly in appearance, some of the roads from Kilkenny County into New Ross being rural and undeveloped in character and the N25 in particular having an industrial and utilitarian appearance. In recent years tree planting in Wexford alongside the N25 has begun to ameliorate the visual effects of industrial and portal development as viewed from the main road and similar additional tree planting is required in the Environs.

Roads in the main have no surface water drainage system and remain free from flooding only due to their steep gradients. Servicing is necessary for future development to prevent danger of flooding in the lower areas. A new storm sewer has been proposed to reduce excess flows in the existing Rosbercon sewage system.

It is proposed to construct a by-pass for New Ross.

10.1 Road Objectives

1. To ensure a safe and comprehensive road system of satisfying requirements of both vehicular and pedestrian traffic.
2. Realignment of New Ross - Mullinavat Road (R705)
3. Realignment of New Ross - Shanbogh Road
4. Realignment of New Ross -Bawnjames Road
5. Upgrading of the N25 between Waterford and New Ross to dual carriageway standard

6. Investigate the feasibility of the provision of an additional river crossing and reservation for a by pass for New Ross in conjunction with Wexford County Council, New Ross UDC and the National Roads Authority.